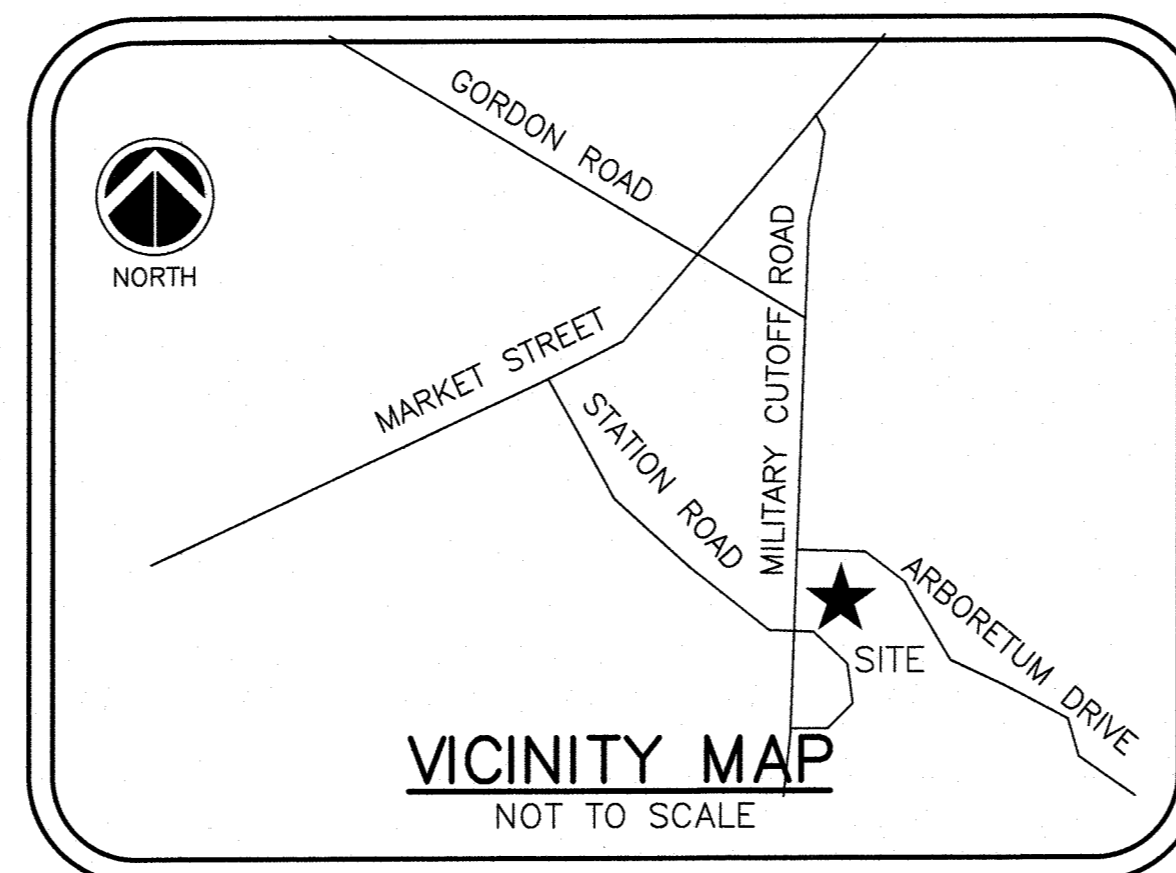


SITE DEVELOPMENT PLANS for LANDFALL REALTY

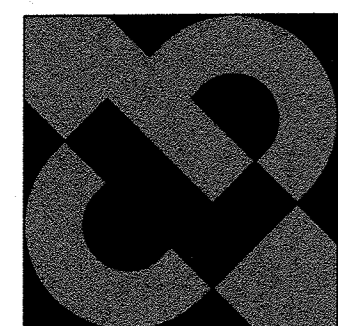
500 ARBORETUM DRIVE Wilmington, North Carolina



SHEET	NAME
COVER	
G-01	GENERAL NOTES
EX-01	EXISTING CONDITIONS
SP-01	SITE PLAN
SP-02	SITE PLAN-FULL PARCEL PLAN
SP-03	UTILITY PLAN
CG-1	EROSION CONTROL & GRADING PLAN
CG-2	DRAINAGE & GRADING PLAN
CG-3	DRAINAGE AREA MAP
CG-D1	EROSION CONTROL & GRADING PLAN DETAILS
CG-D2	NCG01 GROUND STABILIZATION AND MATERIALS HANDLING
CG-D3	NCG01 SELF INSPECTION RECORDKEEPING AND RECORDING
DET-01	DETAILS
DET-02	DETAILS
DET-03	UTILITY DETAILS
DET-04	UTILITY DETAILS
LA-01	LANDSCAPE PLAN
A-2.1	ARCHITECTURAL ELEVATION
A-2.2	ARCHITECTURAL ELEVATION

OWNER:
LANDFALL COUNCIL OF
ASSOCIATIONS, INC
1749 DRYSDALE DRIVE
WILMINGTON, NC 28405

ENGINEER:

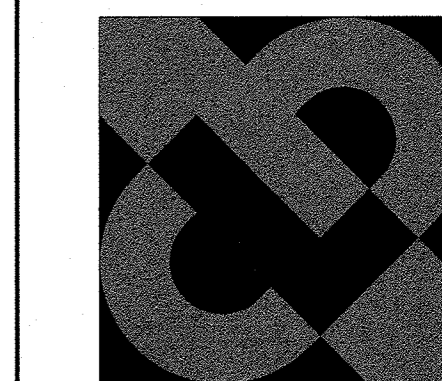


Coastal Land Design, PLLC

Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License No: P-0369

P.O.Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 www.cldeng.com Fax: 910-254-0502

ARCHITECT:
LISLE ARCHITECTURE AND DESIGN, INC.
614 MARKET STREET
WILMINGTON, NC 28401



Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License P-0369
P.O.Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 Fax: 910-254-0502
www.cldeng.com

Landfall Realty, LLC
500 Arboretum Drive

COVER

REV	DATE	DESCRIPTION	INIT
C	4/18/19	REVISED TRC REVIEW	NA
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

DEVELOPER

LANDFALL REALTY LLC
1720 DRYSDALE DRIVE
WILMINGTON, NC 28405

RECEIVED

JUN 20 2019

PLANNING DIVISION

For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.

ISSUED FOR AGENCY
REVIEW ONLY

NOT RELEASED FOR
CONSTRUCTION

BEFORE YOU DIG, CALL

North Carolina 811
www.nc811.org

CITY OF WILMINGTON
APPROVED CONSTRUCTION PLAN

Name: _____ Date: _____

Planning: *Nicole D. Smith* 6-20-19
Traffic: *W. Smith* 6-20-19
Fire: *C. Wall* 6/20/19

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN

Date: 6/20/2019 Permit # 2019034
Signed: *Tim Pullen* for RAC

APPROVED: FB PROJECT: 140-08
CHECKED: FB SCALE: NTS
DESIGNED: NA RELEASE: TRC

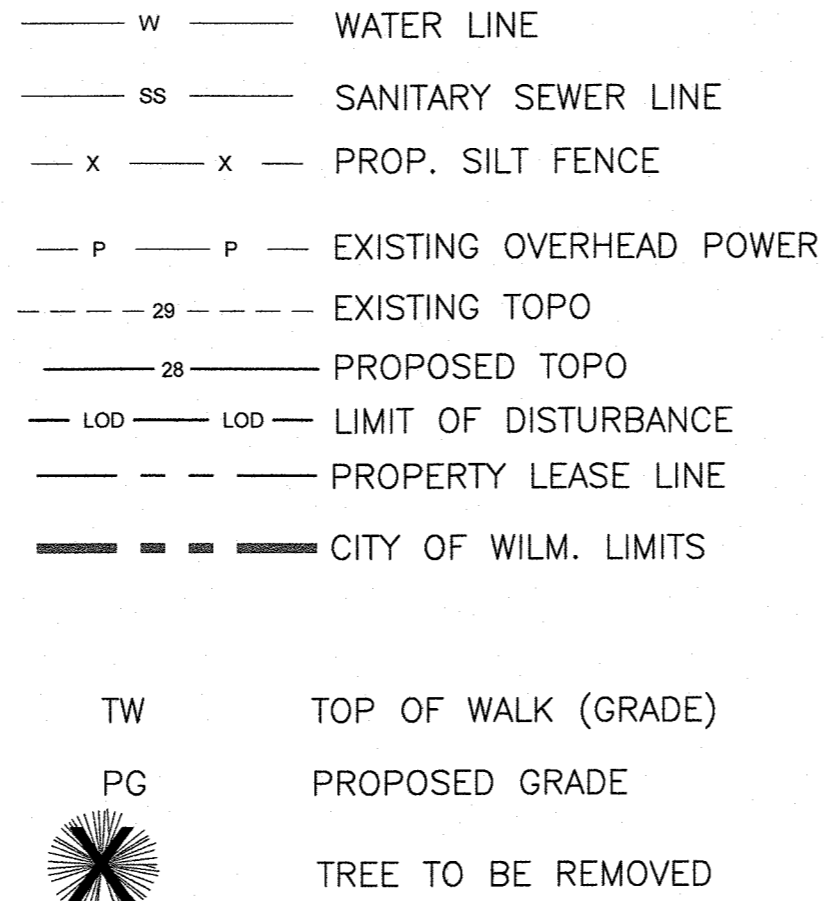
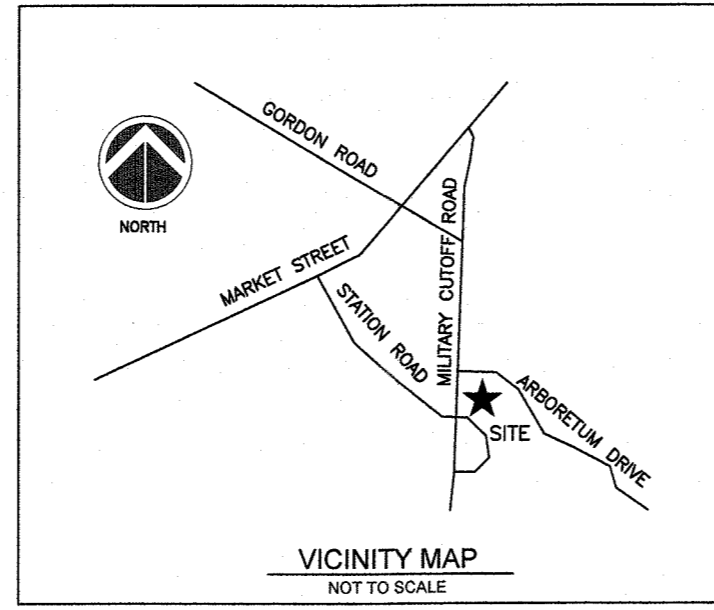
SHEET
COVER

GENERAL DEVELOPMENT NOTES:

- PRIOR TO ANY CLEARING, GRADING, OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, MATERIALS, OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.
- ALL PAVEMENT MARKINGS IN PUBLIC RIGHTS-OF-WAY AND FOR DRIVEWAYS ARE TO BE THERMOPLASTIC AND MEET CITY AND/OR NCDOT STANDARDS.
- ONCE STREETS ARE OPEN TO TRAFFIC, CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS. ANY PROPOSED STREET NAMES MUST BE APPROVED PRIOR TO INSTALLATION OF STREET NAME SIGNS.
- TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS, FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT (910) 341-7888 FORTY-EIGHT HOURS (48) PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING MUST BE REPLACED.
- CONTACT TRAFFIC ENGINEERING AT (910) 341-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- PROJECT MUST COMPLY WITH THE CFPWA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL. CALL (910) 332-6419 FOR INFORMATION.
- IF THE CONTRACTOR DESIRES CFPWA WATER FOR CONSTRUCTION, HE OR SHE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- ANY IRRIGATION SYSTEM SUPPLIED BY CFPWA WATER SHALL COMPLY WITH THE CFPWA'S CONNECTION CONTROL REGULATIONS. CALL (910) 332-6419 FOR INFORMATION.
- ANY IRRIGATION SYSTEM SHALL BE EQUIPPED WITH A RAIN AND FREEZER SENSOR.
- ANY BACKFLOW PREVENTION DEVICES REQUIRED BY THE CFPWA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USCFCOHR OR ASSE.
- A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
- PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NEITHER NCDOT OR THE CITY OF WILMINGTON WILL ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
- ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- INSTALL REFLECTORS PER CITY AND NCDOT STANDARDS. TRAFFIC ENGINEERING MUST APPROVE OF PAVEMENT MARKING LAYOUT PRIOR TO ACTUAL STRIPING.
- ALL PARKING STALL MARKINGS AND LANE ARROWS WITHIN PARKING AREAS SHALL BE WHITE.
- ANY TREES AND/OR AREAS DESIGNATED TO BE PROTECTED MUST BE PROPERLY BARRICADED WITH FENCING AND PROTECTED THROUGHOUT CONSTRUCTION TO ENSURE THAT NO CLEARING, GRADING, OR STAGING MATERIALS WILL OCCUR IN THOSE AREAS.
- NO EQUIPMENT IS ALLOWED ON SITE UNTIL ALL TREE PROTECTION FENCING IS INSTALLED AND APPROVED. PROTECTIVE FENCING IS TO BE MAINTAINED THROUGHOUT THE DURATION OF THE PROJECT, AND CONTRACTORS SHALL RECEIVE ADEQUATE INSTRUCTION ON TREE PROTECTION METHODS.
- STOP SIGNS AND STREET SIGNS TO REMAIN IN PLACE DURING CONSTRUCTION.
- TACTILE WARNING MATS WILL BE INSTALLED ON ALL WHEELCHAIR RAMPS.
- A UTILITY CUT PERMIT IS REQUIRED FOR EACH OPEN CUT OF A CITY STREET
- CONTRACTOR TO FIELD VERIFY EXISTING WATER AND SEWER SERVICE LOCATIONS, SIZES, AND MATERIALS PRIOR TO CONSTRUCTION. ENGINEER TO BE NOTIFIED OF ANY CONFLICTS.
- CONTRACTOR SHALL MAINTAIN ALL-WEATHER ACCESS FOR EMERGENCY VEHICLES AT ALL TIMES DURING CONSTRUCTION.
- NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SIGHT DISTANCE.
- CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING, OR GRADING.

CONSTRUCTION NOTES:

- THE PROPERTY BOUNDARY, TOPOGRAPHIC, AND UTILITY SURVEY SHOWN ON THESE PLANS WERE OBTAINED FROM PARAMOUNT ENGINEERING 2008 SURVEY. UPDATED SURVEY WAS PERFORMED BY ESP & ASSOCIATES 11/20/2018.
- THERE ARE NO WETLANDS ON THIS SITE.
- THIS PROJECT WILL REQUIRE A TOTAL OF 22,000 SF OF DISTURBANCE.
- THE SITE CONTRACTOR SHALL FIELD VERIFY ALL EXISTING UTILITIES ABOVE AND BELOW GROUND BEFORE COMMENCING CONSTRUCTION.
- THE SITE CONTRACTOR IS RESPONSIBLE FOR DISPOSAL OF ALL WASTE MATERIALS GENERATED THROUGH DEMOLITION AND GRUBBING ACTIVITIES SHOWN ON THESE PLANS.
- THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SEDIMENT-LADEN RUNOFF IS TREATED PRIOR TO BEING DISCHARGED FROM THE SITE AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES OF SEDIMENT CONTROL BASED UPON THE PERFORMANCE OF EROSION CONTROL MEASURES PROVIDED ON SITE.
- THE PERIMETER OF THE SITE SHALL BE WRAPPED IN SEDIMENT FENCE AND HARDWARE CLOTH AND GRAVEL INLET PROTECTION SHALL BE PLACED OVER EACH PROPOSED DRAINAGE INLET DURING CONSTRUCTION ACTIVITIES.
- DENUDED AREAS MUST BE STABILIZED BASED UPON THE GROUND STABILIZATION REQUIREMENTS PROVIDED ON THE APPROVED EROSION CONTROL DRAWINGS. THIS INCLUDES SLOPES, SWALES, CHANNELS, AND STOCKPILES.
- ALL STORM DRAIN INFRASTRUCTURE MUST BE INSTALLED TO PROVIDE POSITIVE DRAINAGE TO THE OUTLET.
- THE EXISTING DRAINAGE PATTERNS FOR THIS PROPERTY ARE MAINTAINED WITH THE PROPOSED DEVELOPMENT.

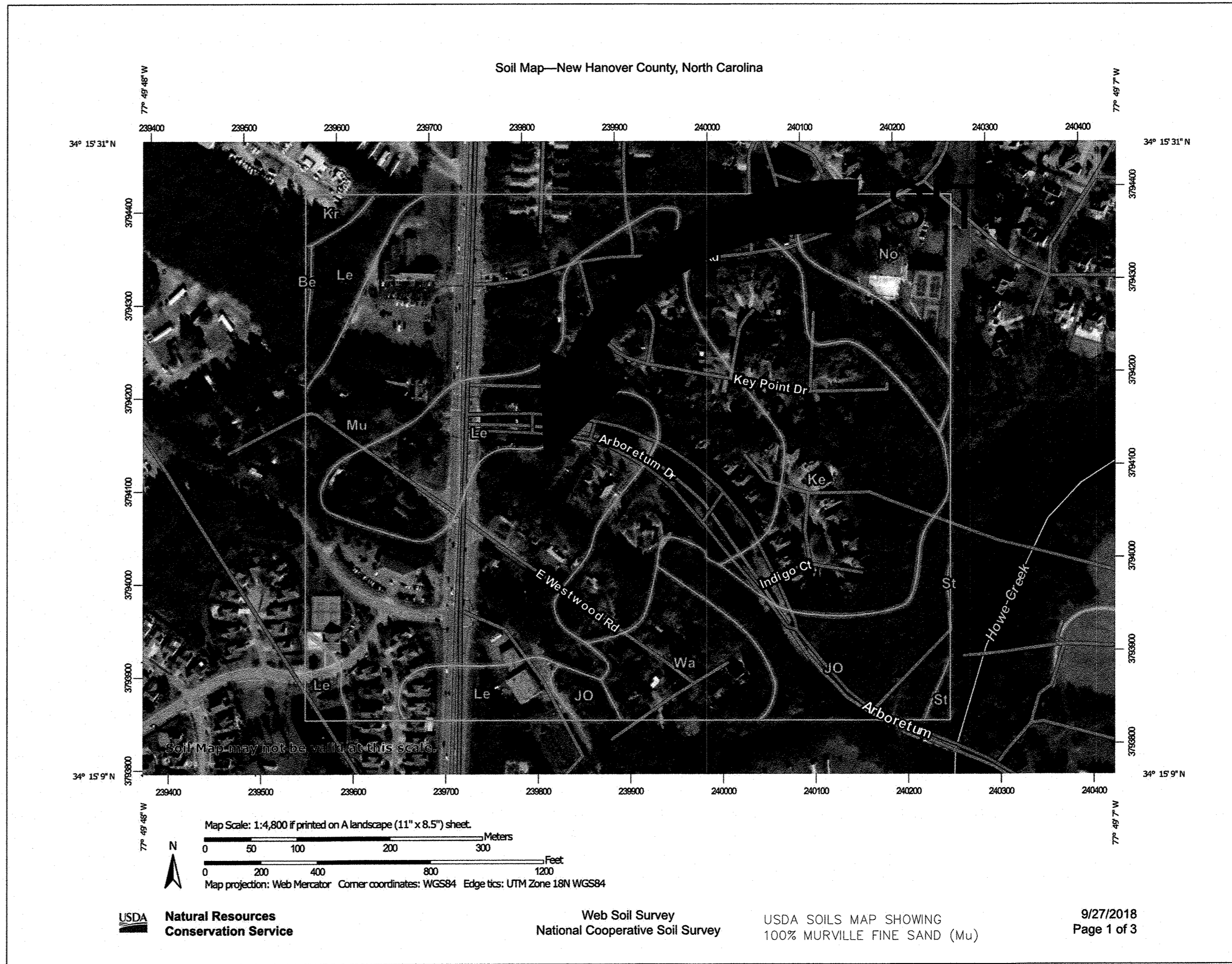


GRASS TYPE	AMOUNT/1000 SF.	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF. MAINTENANCE		
RYE GRAIN	1-2 LBS.	NOV. THRU JAN.	25 LBS. 10-10-10	NA	NA	NA
BROWNTOP MILLET	1-2 LBS.	JUNE THRU AUG.	25 LBS. 10-10-10	NA	NA	NA

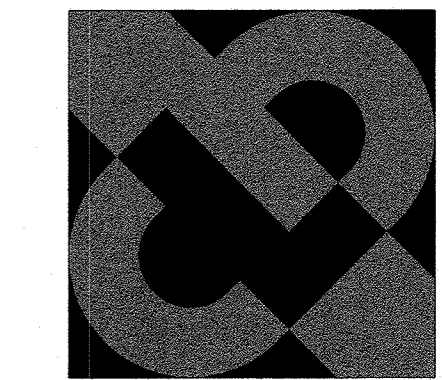
TEMPORARY SEEDING SCHEDULE

GRASS TYPE	AMOUNT/1000 SF.	TIME OF SEEDING	INITIAL	FERTILIZATION/1000 SF. MAINTENANCE		
BERMUDA, COMMON	1-2 LBS.	APR. THRU JUNE	25 LBS. 10-10-10	MARCH - APRIL 12 LBS. 10-10-10	EACH 4-8 WEEKS 1-2 LBS. N.	AUG. - SEPT. 12 LBS. 10-10-10
FESCUE, TALL (KENTUCKY 31)	5-7 LBS.	SEPT. THRU OCT. FEB. THRU OCT.	25 LBS. 10-10-10	FEB. - MARCH 12 LBS. 10-10-10	MAY & DEC. 1/2 TO 1 LB. N.	SEPT. - OCT. 12 LBS. 10-10-10
SERICEA LESPEDEZA (SLOPES)	1-2 LBS.	MARCH THRU APR.	25 LBS. 10-10-10	FEB. - MARCH	1/2 TO 1 LB. N.	NA

PERMANENT SEEDING SCHEDULE



NRCS SOILS MAP
NTS



Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License P-0369
P.O. Box 1172 Phone: 910-254-8333
Wilmington, NC 28402 Fax: 910-254-0502
www.cldeng.com

Landfall Realty, LLC
500 Arboretum Drive

GENERAL NOTES

REV	DATE	DESCRIPTION
B	1/30/19	REVISED TRC REVIEW
A	9/28/18	INITIAL TRC REVIEW
		INIT

DEVELOPER

LANDFALL REALTY LLC
1720 DRYSDALE DRIVE
WILMINGTON, NC 28405

APPROVED: FB	PROJECT: 140-08
CHECKED: FB	SCALE: NTS
DESIGNED: NA	RELEASE: TRC

SHEET
G-01

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL

North Carolina 811
www.nc811.org

WILMINGTON
Approved Construction Plan

Name: _____ Date: _____

Planning: *Nicole Smith* 6-20-19
Traffic: *W. Smith* 6-20-19
Fire: *C. Wale* 6/20/19

WILMINGTON
Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: *6/20/2019* Permit # *2019034*
Signed: *David Butler for RAC*

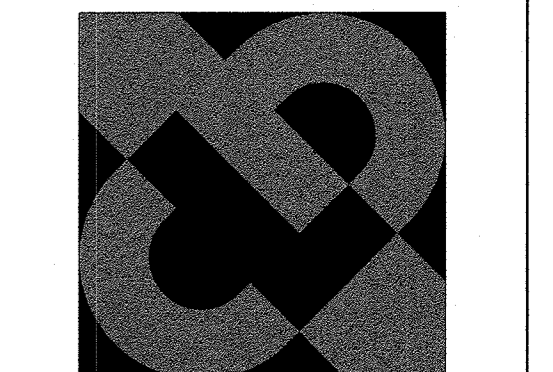
Sec. 18-296. - Property-restricted real estate sales office.

Property-restricted real estate sales offices in residential districts shall comply with the following:

- (a) Such sales offices shall only be permitted within developments with an aggregate minimum of one thousand (1,000) units, and only where the development is governed by a common or unified property owners' association. There shall only be one (1) such sales office within any development.
- (b) At no time shall office facilities be used to market, lease, sell, or otherwise promote properties outside of the development.
- (c) Off-street parking may not be provided within the front yard and shall be provided at a ratio of one (1) space per three hundred (300) square feet, not to exceed ten (10) spaces. All off-street parking shall be screened from view with landscaping in accordance with Article 8 of this chapter.
- (d) Signage shall be limited to one (1) nonilluminated monument sign not to exceed four (4) square feet in area. The sign shall be constructed of materials similar to the building.

(e) Such sales offices may be contained within an existing single-family home or multifamily unit or community building. Within single-family developments, offices may be freestanding. A freestanding building may be constructed subject to the following conditions:

- (1) The total square footage of the building shall not exceed the average square footage of all existing or proposed homes within the development.
- (2) The building shall be of a character similar to the existing or proposed homes within the development in terms of scale, massing, building materials, roof lines, fenestration, orientation, setbacks, and landscaping.
- (3) The building shall be designed in such a way that it may be converted for residential or community uses if it is no longer used for a sales office.
- (4) The building shall be located no more than three hundred (300) feet from the exterior boundaries of said subdivision.
- (f) If the building ceases to be used as a property-restricted real estate sales office, it shall be limited to occupancy by only those uses permitted within the zoning district. In no case shall other office uses be permitted.



Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

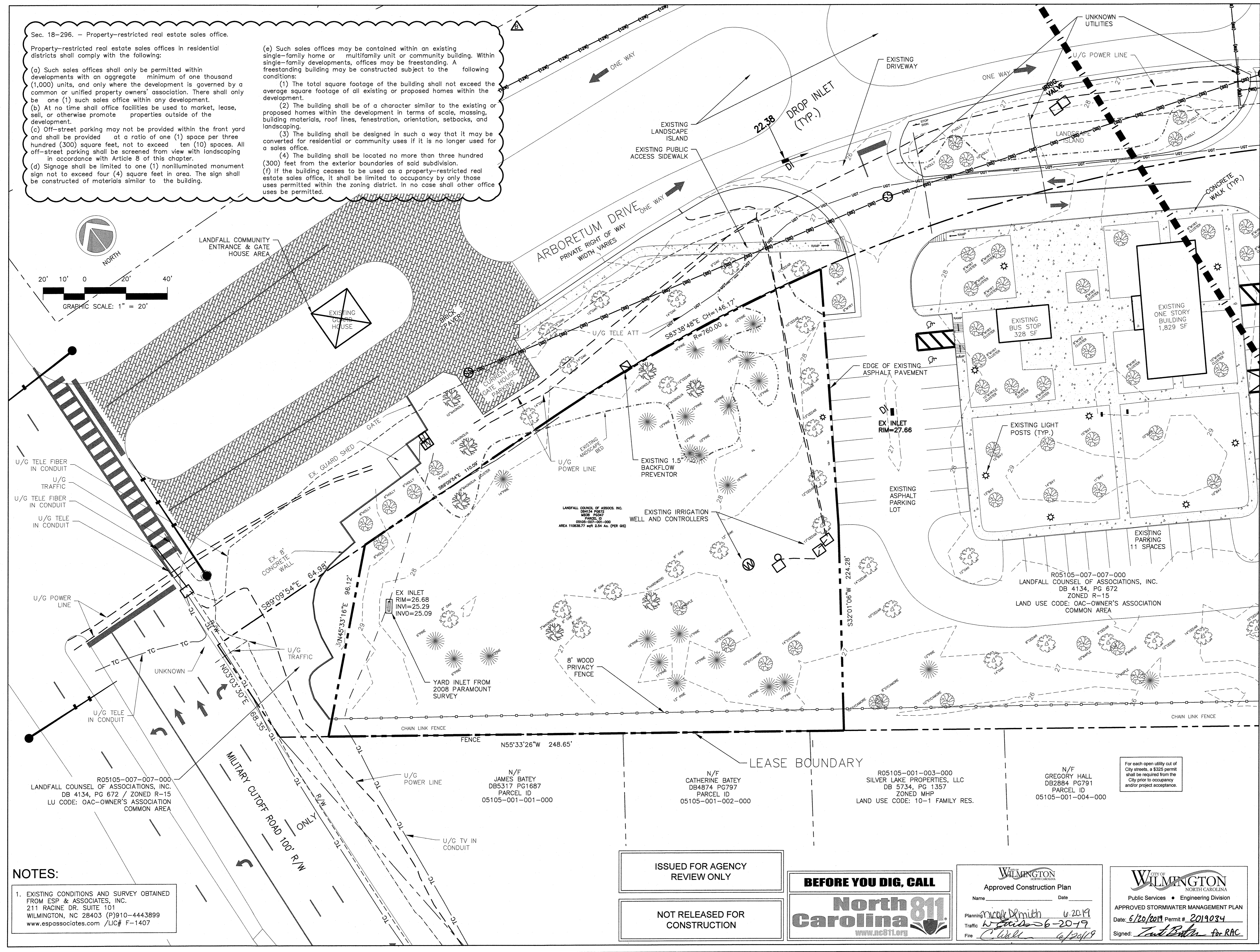
Landfall Realty, LLC
 500 Arboretum Drive
EXISTING CONDITIONS

REV	DATE	DESCRIPTION	INIT
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

DEVELOPER
 LANDFALL REALTY LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

APPROVED: FB	PROJECT: 140-08
CHECKED: FB	SCALE: 1"=20'
DESIGNED: NA	RELEASE: STORMWATER

SHEET
EX-01



NOTES:
 1. EXISTING CONDITIONS AND SURVEY OBTAINED FROM ESP & ASSOCIATES, INC. 211 RACINE DR. SUITE 101 WILMINGTON, NC 28403 (P)910-4443899 www.espaceassociates.com /LIC# F-1407

ISSUED FOR AGENCY REVIEW ONLY
 NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
 www.nc811.org

WILMINGTON
 Approved Construction Plan
 Name: *Michael D. Smith* Date: *6-20-19*
 Planning: *W. Smith* Date: *6-20-19*
 Traffic: *C. Wells* Date: *6/20/19*
 Fire: *C. Wells* Date: *6/20/19*

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *6/20/2019* Permit # *2019034*
 Signed: *Tom Butler for RAC*

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

R05105-007-007-000
 LANDFALL COUNSEL OF ASSOCIATIONS, INC.
 DB 4134, PG 672 / ZONED R-15
 LU CODE: OAC-OWNER'S ASSOCIATION COMMON AREA

N/F JAMES BATEY
 DB5317 PG1687
 PARCEL ID 05105-001-001-000

N/F CATHERINE BATEY
 DB4874 PG797
 PARCEL ID 05105-001-002-000

R05105-001-003-000
 SILVER LAKE PROPERTIES, LLC
 DB 5734, PG 1357
 ZONED MHP
 LAND USE CODE: 10-1 FAMILY RES.

N/F GREGORY HALL
 DB2884 PG791
 PARCEL ID 05105-001-004-000

R05105-007-007-000
 LANDFALL COUNSEL OF ASSOCIATIONS, INC.
 DB 4134, PG 672
 ZONED R-15
 LAND USE CODE: OAC-OWNER'S ASSOCIATION COMMON AREA

R05105-007-007-000
 LANDFALL COUNSEL OF ASSOCIATIONS, INC.
 DB 4134, PG 672
 ZONED R-15
 LAND USE CODE: OAC-OWNER'S ASSOCIATION COMMON AREA

LANDFALL COUNSEL OF ASSOCIATIONS, INC.
 DB4134 PG672
 MHP DISTRICT
 PARCEL ID 05105-007-007-000
 AREA 110038.77 sft 2.54 AC (PER GIS)

SITE DATA

LEASEE: LANDFALL REALTY, LLC
500 ARBORETUM DRIVE
WILMINGTON, NC 28405

NEW HANOVER COUNTY PARCEL #: R05105-007-001-000

ZONING: R-15 (RESIDENTIAL DISTRICT)

NOTE: THIS PROPERTY IS LOCATED WITHIN A SPECIAL HIGHWAY OVERLAY DISTRICT

CAMA LAND USE: WATERSHED RESOURCE PROTECTION AREA

FLOOD ZONE: PARCEL NOT LOCATED WITHIN A FEMA FLOOD ZONE

LEASED AREA.....88 ac. / 38,180 SF

SHOD REQUIREMENTS:

1. NO BLDG. SHALL BE SET BACK LESS THAN 25' FROM ANY PROPERTY LINE.
2. ONE SIGN PERMITTED IN 100 FOOT SETBACK WITH A MAXIMUM HEIGHT OF 6' AND A MAX. AREA OF 150 SF.

SETBACKS

SETBACK STANDARDS	REQUIRED	PROVIDED
FRONT SETBACK	30 FT	47.0 FT
REAR SETBACK	25 FT	64.3 FT
SIDE CORNER SETBACK	15 FT	119.5 FT

BUILDING DATA

PROPOSED BUILDING AREA INFORMATION

1st FLOOR.....2,912 GSF
2nd FLOOR.....900 GSF
TOTAL.....3,812 GSF

BUILDING FOOTPRINT.....2,912 SF
TOTAL BUILDING COVERAGE + EXISTING = 5,068 SF (7.6%)
MAXIMUM BUILDING HEIGHT: 35'
PROPOSED BUILDING HEIGHT: 28'-2"
CONSTRUCTION TYPE V-B

PARKING

	REQUIRED	PROVIDED
EX. PARKING (ENTIRE ORIGINAL PARCEL): EX. USE=PACKAGE DELIVERY SERVICE 1,829 SF (1/500 SF REQUIRED).....	4	48
PROPOSED PARKING (FOR LEASED AREA): (1/300 SF OF GROSS BLDG. AREA) 3,812 SF *PROPOSING TO USE EXISTING LOT AS A SHARED PARKING LOT.....	13	18
ADA SPACES (1 PER 25 SPACES = 1 ADA SPACE).....	1	2

* BICYCLE PARKING: ONE BICYCLE RACK (CAPACITY 5 BICYCLES) WILL BE LOCATED AT THE NORTHEASTERN CORNER OF THE BUILDING IN THE GRASS AREA NEXT TO THE SIDEWALK

BUILDING/ IMPERVIOUS AREA

EXISTING AREA:

TOTAL LOT SIZE (INCL. LEASE AREA).....111,873 SF (2.57 AC.)

BUILT UPON AREA (EXISTING)

TOTAL FOOTPRINT (2 EX. STRUCTURES)	2,157 SF
ON SITE PARKING (EXISTING)	29,640 SF
ON SITE SIDEWALKS (EXISTING)	7,458 SF
TOTAL.....	39,255 SF
% IMPERVIOUS.....	35%

PROPOSED LEASE AREA (38,180 SF) ADDITIONAL IMPERVIOUS AREA:

TOTAL FOOTPRINT (1 NEW STRUCTURE)	2,912 SF
ON SITE PARKING (NO NEW PARKING PROPOSED)	
ON SITE SIDEWALKS	
PERMEABLE.....	665 SF
IMPERVIOUS.....	1091 SF
FUTURE ADDITIONAL BUA TO MATCH NCDEQ SW PERMIT	22 SF

TOTAL IMPERVIOUS FOR LEASED AREA (SAME AS NCDEQ PERMIT)..... 4,025 SF

% IMPERVIOUS OF PROPOSED LEASED AREA.....10.54 %
% ALLOWABLE IMPERVIOUS AREA PER NCDEQ LOW DENSITY.....12% (4,582SF)

TOTAL IMPERVIOUS AREA FOR ENTIRE PARCEL = 43,280 SF
% IMPERVIOUS COVERAGE OF ENTIRE PARCEL = 38.69%

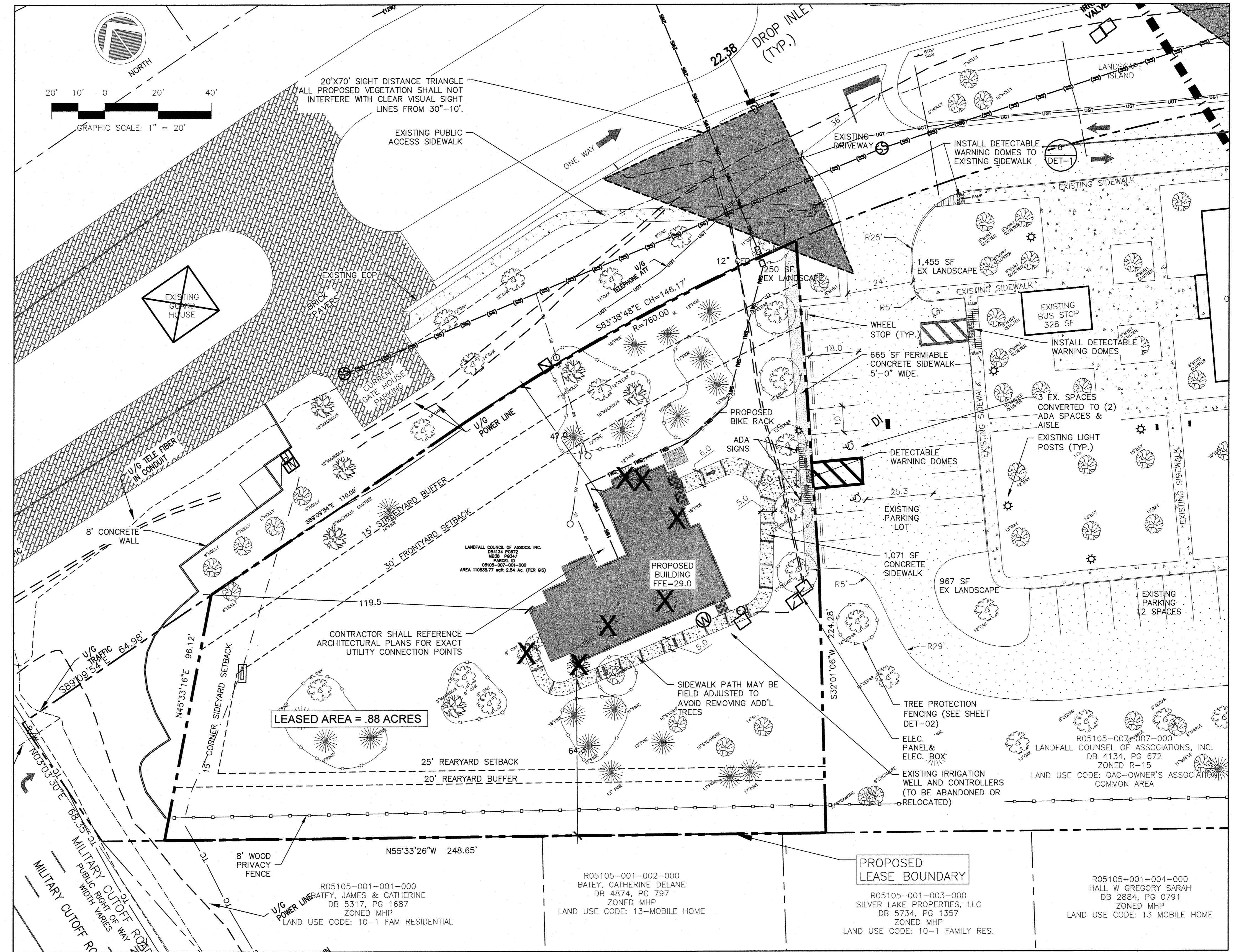
EXPANSION REQUIREMENTS

EXISTING GROSS FLOOR AREA = 2,157 SF
PROPOSED GROSS FLOOR AREA = 3,811 SF
% INCREASE OF GROSS FLOOR AREA = 76%

GREATER THAN 50% INCREASE IN GROSS FLOOR AREA.
REQUIRES 15 TREES PER DISTURBED ACRE
STREETYARD = FULL WIDTH AS REQUIRED FOR NEW CONSTRUCTION
8% INTERIOR LANDSCAPING
FULL BUFFERING AS REQUIRED FOR NEW CONSTRUCTION

WATER AND SEWER CAPACITY

WATER:	SEWER:
CURRENT USE.....(0) GPD	CURRENT USE.....(0) GPD
PROPOSED USE.....250 GPD	PROPOSED USE.....250 GPD



FIRE AND LIFE SAFETY NOTES

1. Contractor shall maintain an all-weather access for emergency vehicles at all times during construction.
2. Landscaping or parking cannot block or impede fire hydrants. A 3-foot clear space shall be maintained around the circumference of the hydrant at all times.
3. The proposed building construction type is V-B. Hydrant must be within 300' of the building(s), measured as the truck drives (Commercial).
4. Additional fire protection and accessibility requirements may be required due to any special circumstances concerning the project.
5. Contractor shall submit a Radio Signal Strength Study that demonstrates that existing emergency responder radio signal levels meet the requirements of Section 510 of the 2018 NC Fire Code.

UTILITY NOTE:

1. WATER AND SEWER SERVICE PROVIDED BY CAPE FEAR PUBLIC UTILITY AUTHORITY.

STORM WATER NOTES:

1. ALL RUNOFF FROM PROPOSED BUILDINGS SHALL BE DIRECTED TO VEGETATED SWALES.
2. NO LAND DISTURBANCE ACTIVITY INCLUDING TREE REMOVAL IS TO OCCUR OUTSIDE THE LIMITS OF DISTURBANCE.
3. ROOF DRAIN LEADERS ARE TO RELEASE ROOF RUNOFF AT GROUND LEVEL.
4. NO WETLANDS EXIST ON THIS PROPERTY.
5. PROPOSED SITE IMPROVEMENTS SHALL CONFORM TO EXISTING STATE STORMWATER PERMIT SW8 080211

SOLID WASTE NOTE:

1. SOLID WASTE WILL BE DISPOSED OF BY ROLLOUT CARTS.

SIGHT TRIANGLE NOTE:

1. ALL PROPOSED VEGETATION SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10'.

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL

North Carolina 811
www.nc811.org

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
APPROVED CONSTRUCTION PLAN

Name: _____ Date: _____

Planning: *Nicole Smith* 6/20/19
Traffic: *W. Smith* 6/20/19
Fire: *C. Wall* 6/20/19

Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 6/20/2019 Permit # 2019034
Signed: *Tim Potts* for RAC

Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License P-0369
P.O. Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 Fax: 910-254-0502
www.cladeng.com

Landfall Realty, LLC
500 Arboretum Drive

SITE PLAN

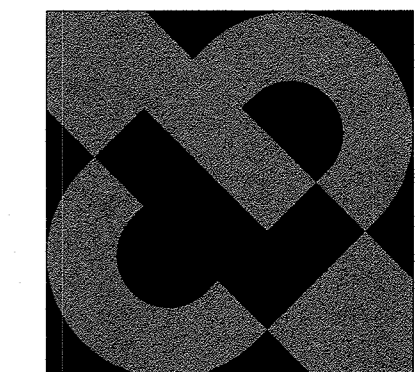
REV	DATE	DESCRIPTION
C	4/22/2019	ADDED FUTURE BUA TO ALLOCATE FULL AMOUNT IN NCDEQ SW PERMIT
B	1/30/19	REVISED TRC REVIEW
A	9/28/18	INITIAL TRC REVIEW

DEVELOPER

LANDFALL REALTY LLC
1720 DRYSDALE DRIVE
WILMINGTON, NC 28405

APPROVED: FB PROJECT: 140-08
CHECKED: FB SCALE: 1"=20'
DESIGNED: NA RELEASE: TRC

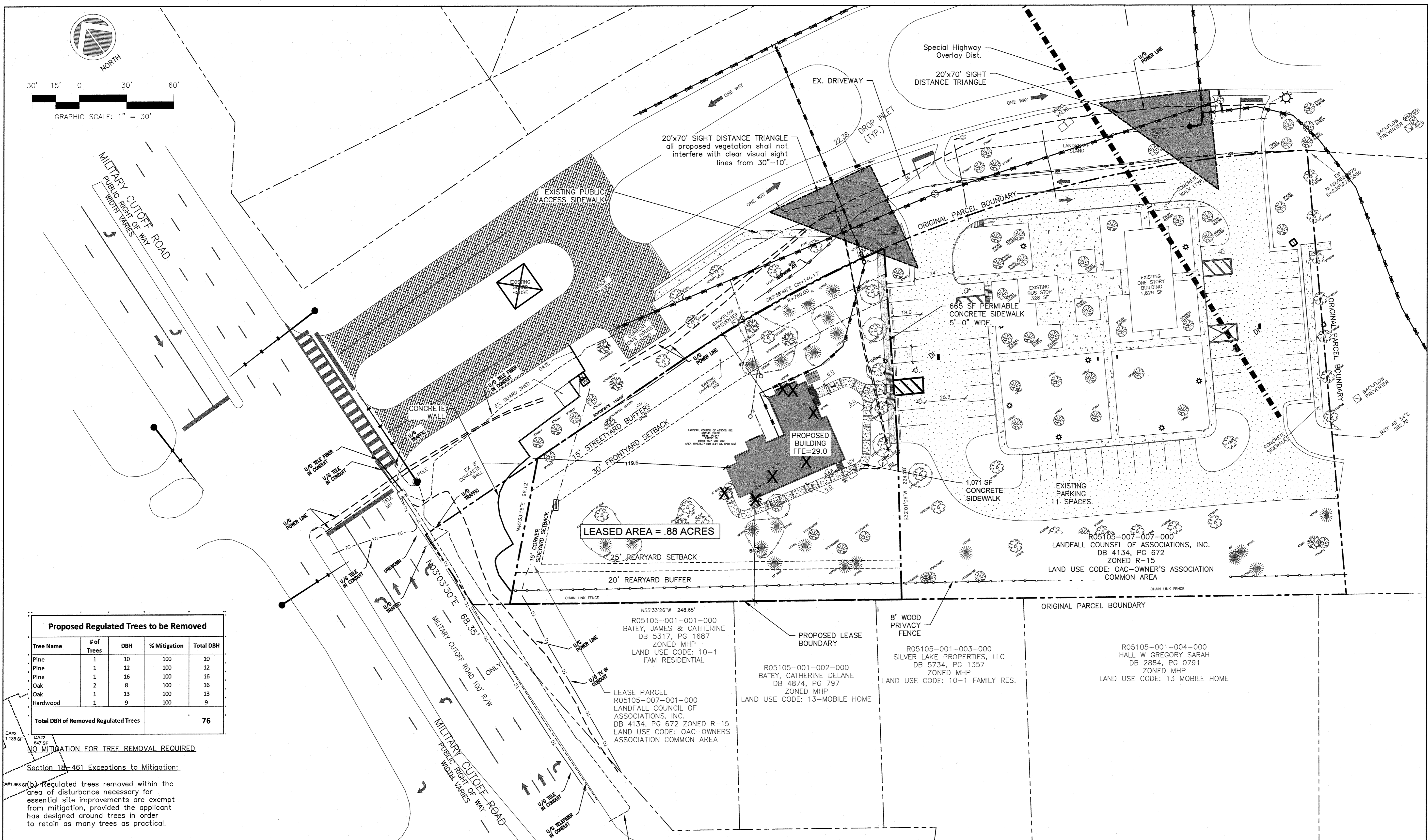
SHEET
SP-01



Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

Landfall Realty, LLC
 500 Arboretum Drive

SITE PLAN
FULL PARCEL PLAN



Proposed Regulated Trees to be Removed

Tree Name	# of Trees	DBH	% Mitigation	Total DBH
Pine	1	10	100	10
Pine	1	12	100	12
Pine	1	16	100	16
Oak	2	8	100	16
Oak	1	13	100	13
Hardwood	1	9	100	9
Total DBH of Removed Regulated Trees				76

NO MITIGATION FOR TREE REMOVAL REQUIRED
 Section 18.461 Exceptions to Mitigation:
 (b) Regulated trees removed within the area of disturbance necessary for essential site improvements are exempt from mitigation, provided the applicant has designed around trees in order to retain as many trees as practical.

REV	DATE	DESCRIPTION	INIT
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

DEVELOPER
 LANDFALL REALTY LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

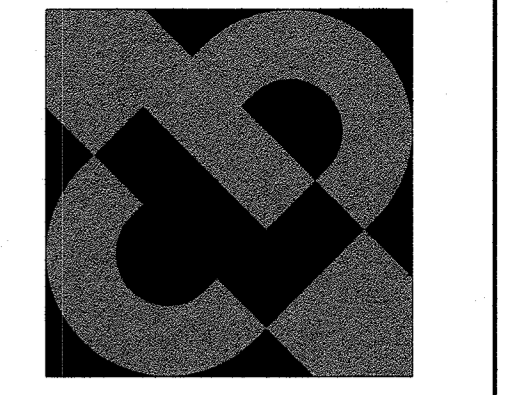
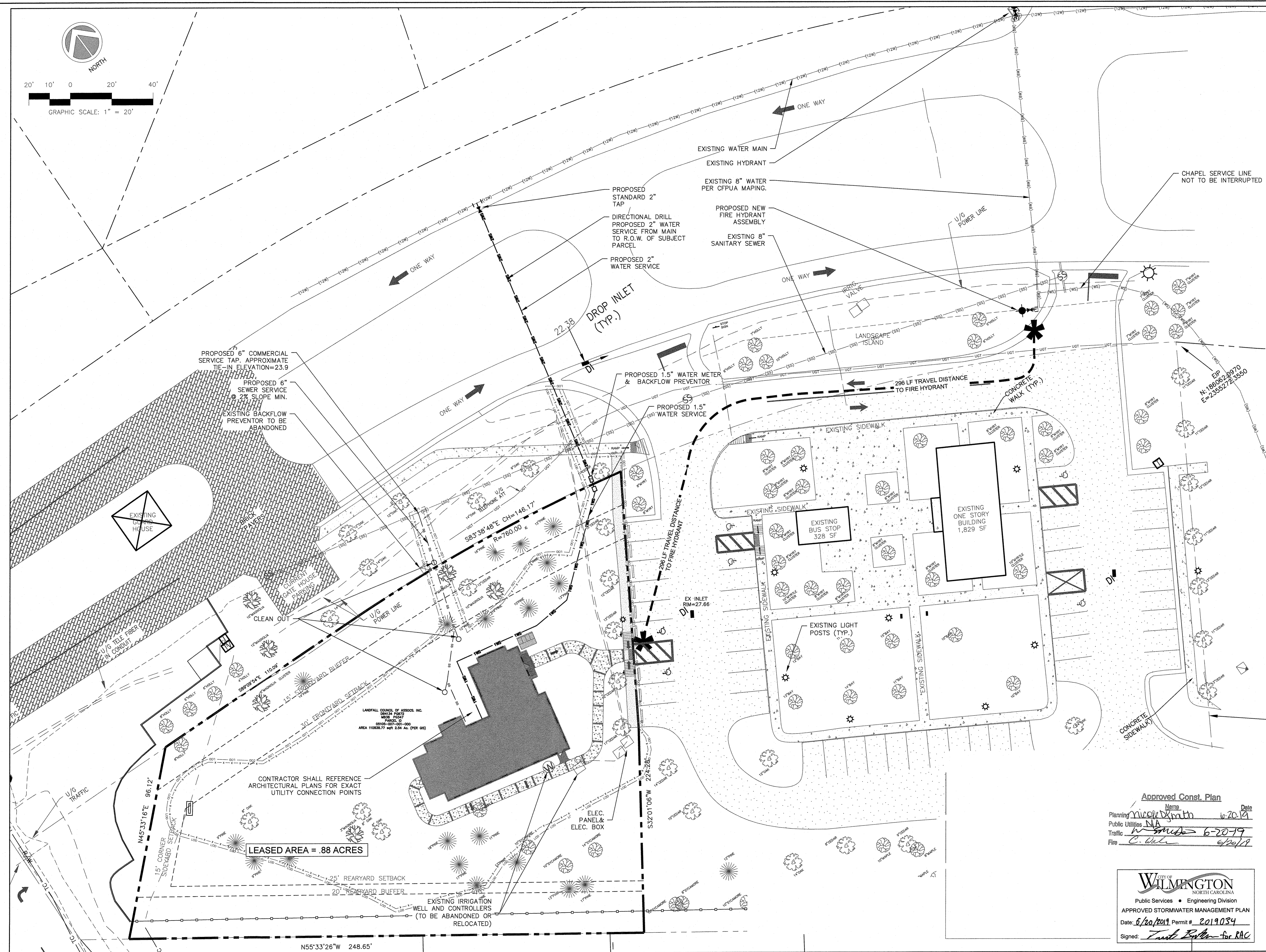
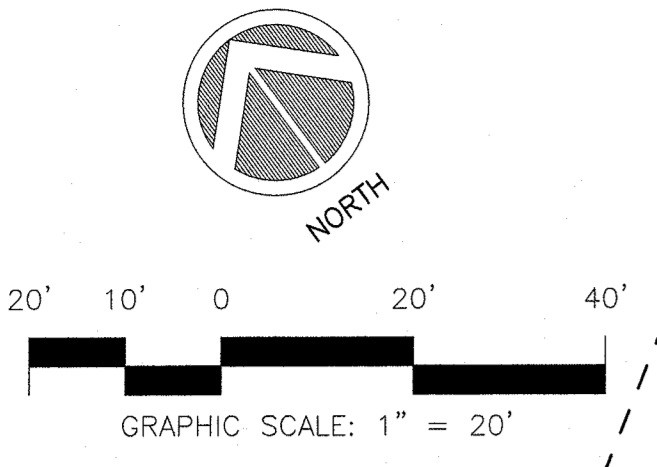
BEFORE YOU DIG, CALL
North Carolina 811
 www.nc811.org

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED CONSTRUCTION PLAN
 Name: _____ Date: _____
 Planning: *Nick Delmuth* 6/20/19
 Traffic: *W. Wall* 6/20/19
 Fire: *C. Wall* 6/20/19
 City of Wilmington, North Carolina
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: 6/20/2019 Permit #: 2019034
 Signed: *Tim Butler* for RAC

APPROVED: FB	PROJECT: 140-08
CHECKED: FB	SCALE: 1"=30'
DESIGNED: NA	RELEASE: TRC

SHEET
SP-02



Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

Landfall Realty, LLC
 500 Arboretum Drive

UTILITY PLAN

REV	DATE	DESCRIPTION	INIT
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

DEVELOPER
 LANDFALL REALTY LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

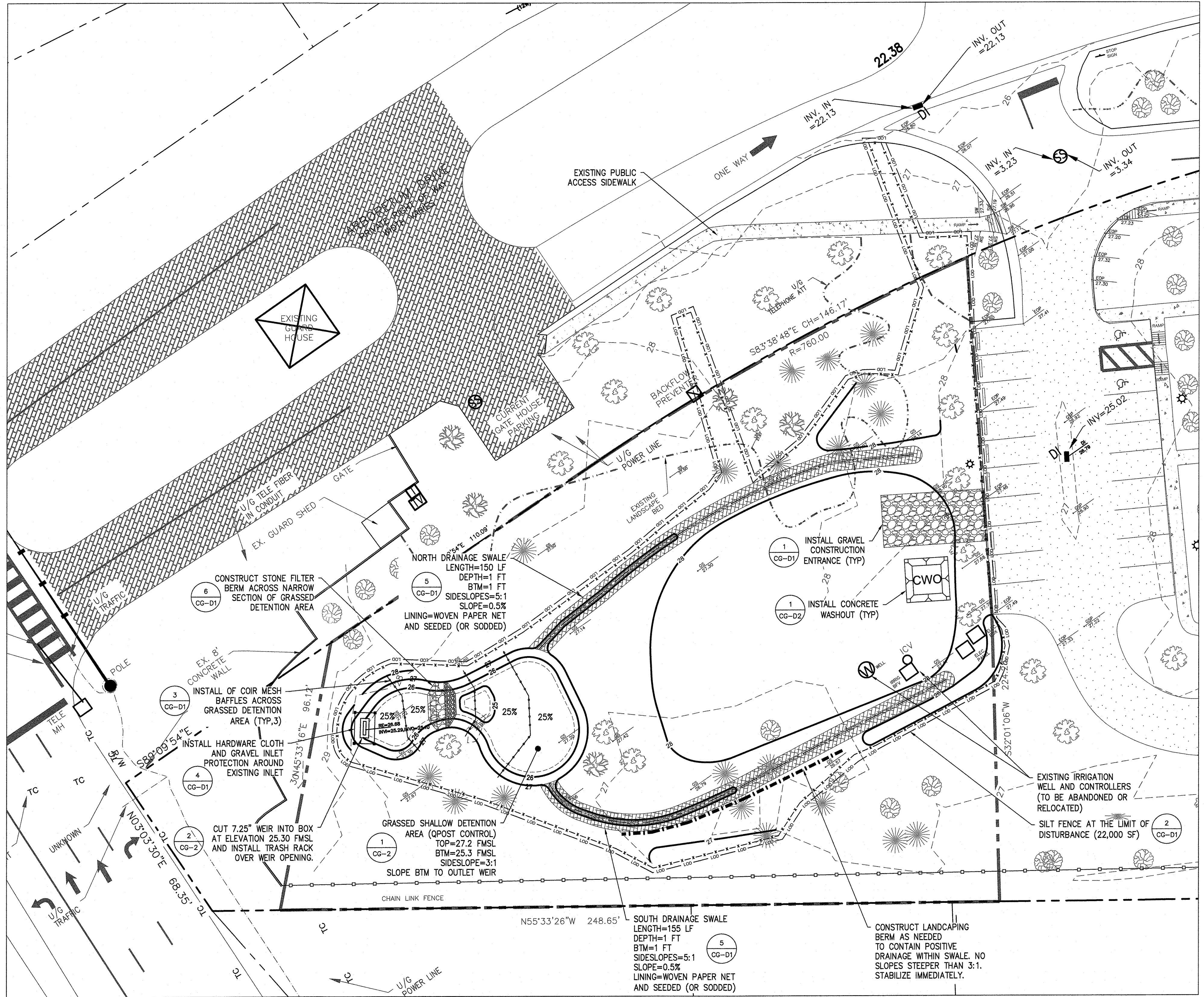
Approved Const. Plan

Planning: Nicole Dymath Date: 6-20-19
 Public Utilities: NA
 Traffic: W. Smith Date: 6-20-19
 Fire: C. White Date: 6/20/19

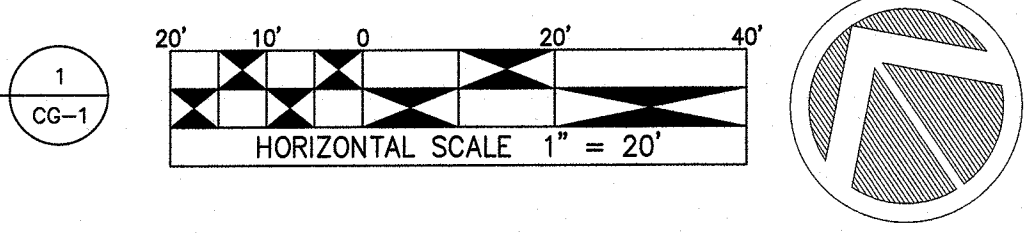
CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
 Date: 6/20/2019 Permit # 2019034
 Signed: Trent Epton for RAC

APPROVED: FB	PROJECT: 140-08
CHECKED: FB	SCALE: 1"=20'
DESIGNED: NA	RELEASE: TRC

SHEET
SP-03



OVERALL EROSION CONTROL PLAN
 HORIZONTAL: 1" = 20' (ON 24" X 36" PLAN SHEET)



NPDES-SPECIFIC PLAN SHEET NOTES

1. THIS PAGE IS SUBMITTED TO COMPLY WITH NPDES GENERAL STORMWATER PERMIT NCG010000.
2. THIS PAGE CAN BE APPROVED BY THE COUNTY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000 ONLY.
3. THIS PAGE OF THE APPROVED PLAN IS ENFORCEABLE EXCLUSIVELY PURSUANT TO NPDES GENERAL STORMWATER PERMIT NCG010000.
4. THE COUNTY IS NOT AUTHORIZED TO ENFORCE THIS PAGE OF THE PLANS AND IT IS NOT A PART OF THE APPROVED PLANS FOR THE PURPOSES OF ENFORCEMENT ACTION UNDER THE COUNTY CODE.

CONSTRUCTION SEQUENCE

PRE-CONSTRUCTION

1. OBTAIN NECESSARY PERMITS PRIOR TO ANY CONSTRUCTION ACTIVITIES REGULATED BY THAT PERMIT.
2. FIELD VERIFY SITE FOR EXISTING UTILITY ABOVE AND BELOW GROUND AND EXISTING CONDITIONS PRIOR TO COMMENCING THE INSTALLATION OF THE SEDIMENT CONTROL PRACTICES.
3. COORDINATE THE TIMING OF ANY IMPACTS TO EXISTING UTILITIES WITHIN THE SITE AND ADJOINING PROPERTIES WITH THE APPROPRIATE REGULATORY AUTHORITIES PRIOR TO COMMENCING WORK.
4. THE CONTRACTOR IS RESPONSIBLE TO ENSURE THAT SEDIMENT-LADEN RUNOFF IS TREATED PRIOR TO BEING DISCHARGED FROM THE SITE AND MAY BE REQUIRED TO PROVIDE ADDITIONAL MEASURES OF SEDIMENT CONTROL BASED UPON THE PERFORMANCE OF EROSION CONTROL MEASURES PROVIDED ON-SITE.
5. THE CONTRACTOR MAY ALTER THE TIMING/PHASING OF THE CONSTRUCTION ACTIVITIES PROVIDED IN THIS CONSTRUCTION SEQUENCE ONLY IF ADEQUATE EROSION AND SEDIMENTATION CONTROL PRACTICES ARE PROVIDED AT ALL TIMES. SHOULD ANY SUBSTANTIAL DEVIATION NEED TO OCCUR THAT WILL SIGNIFICANTLY ALTER THE DESIGN CONDITIONS OF A SEDIMENT CONTROL MEASURE PROVIDED IN THIS PLAN, THE CONTRACTOR MUST CONTACT THE ENGINEER OF RECORD PRIOR TO COMMENCING WITH THE MODIFICATION.

CONSTRUCTION

1. INSTALL THE CONSTRUCTION ENTRANCE OFF THE EXISTING PARKING LOT. PROVIDE SUFFICIENT STONE OVER THE EXISTING CURBLINE TO PREVENT EXCESS DAMAGE.
2. INSTALL SEDIMENT FENCING AT THE LIMIT OF DISTURBANCE BOUNDARY AS INDICATED ON THE PLANS. NOTE THAT SEDIMENT FENCE IS NOT TO BE INSTALLED ACROSS ANY POINT OF PROPOSED OR EXISTING CONCENTRATED FLOW (DITCH, PIPE, SPILLWAY OUTLETS).
3. CLEAR THE DEVELOPABLE PROJECT AREA OF TREES AND OTHER OBJECTIONABLE MATERIAL AS INDICATED ON THE PLANS.
4. CLEAR AND GRUB THE AREAS NECESSARY FOR ACCESS TO THE SHALLOW DETENTION AREA. CLEARING AND GRUBBING SPOILS SHALL BE KEPT WITHIN THE LIMIT OF DISTURBANCE FOR THIS PROJECT AND PROTECTED AGAINST RUNOFF.
5. INSTALL HARDWARE CLOTH AND GRAVEL INLET PROTECTION AROUND THE EXISTING DROP INLET WITHIN THE PROPOSED SHALLOW DETENTION AREA AND CUT THE FLOW CONTROL WEIR INTO THE STRUCTURE.
6. EXCAVATE AND GRADE THE SHALLOW DETENTION AREA AS SHOWN ON THE PLANS. EXCAVATION SPOILS SHALL BE KEPT WITHIN THE LIMIT OF DISTURBANCE AND PROTECTED AGAINST RUNOFF.
7. INSTALL THE COIR MESH BAFFLES AND INSTALL THE STONE FILTER BERM.
8. EXCAVATE THE DRAINAGE SWALES AND ENSURE CAPTURED RUNOFF IS DIRECTED TO THE SHALLOW DETENTION AREA.
9. ROUGH-GRADE THE SITE BASED UPON THE SITE DEVELOPMENT PLANS. GRADING ACTIVITIES SHALL BE LOCATED AND TIMED TO ENSURE DRAINAGE OF STORM WATER RUNOFF INTO THE SEDIMENT BASIN DURING THE REMAINDER OF SITE WORK.
10. AFTER THE SITE IS ROUGH-GRADED, INSTALL THE OTHER SITE UTILITIES AND ERECT THE PROPOSED BUILDING.
11. FINE-GRADE THE REMAINDER OF THE SITE AND PROVIDE FINISH GRADE ELEVATIONS THAT ENSURE DRAINAGE INTO THE STORM WATER COLLECTION SYSTEM.

THROUGHOUT-CONSTRUCTION

1. SELF-MONITORING AND APPROPRIATE RECORD KEEPING AND DOCUMENTATION IS REQUIRED EVERY SEVEN DAYS AND WITHIN 24-HOURS OF EVERY HALF-INCH RAINFALL EVENT. THESE REPORTS, A RAIN GAUGE, AND COPIES OF THE APPROVED PLAN AND PERMIT SHALL REMAIN ON SITE FOR THE DURATION OF CONSTRUCTION.
2. DENUDE AREAS MUST BE STABILIZED WITHIN 15 WORKING DAYS OR 21 CALENDAR DAYS, WHICHEVER IS SHORTER, OF CEASE OF ANY PHASE OF ACTIVITY. THIS INCLUDES SLOPES, SWALES, CHANNELS, AND STOCKPILES.
3. INSPECT AND MAINTAIN ALL EROSION CONTROL DEVICES EVERY SEVEN DAYS AND AFTER EACH RAINFALL EVENT. NEEDED REPAIRS SHALL BE MADE IMMEDIATELY.
4. TOP DRESS TEMPORARY SEEDING WITH 50 POUNDS PER ACRE NITROGEN IN MARCH. IF COVER IS NEEDED THROUGH THE FOLLOWING SUMMER, OVERSEED WITH 50 POUNDS PER ACRE OF KOBE LESPEDEZA. MOWING OF GRASSED AREAS SHALL BE ACCOMPLISHED ACCORDING TO THE SEASON. MAXIMUM UNMOWN HEIGHT OF A GRASS AT ANY TIME SHALL BE SIX INCHES.
5. PERMANENT GRASS SHALL BE INSTALLED FOR AREAS AT FINAL GRADE AND IN SEASON. FERTILIZE, WATER AND RESEED TO ESTABLISH A VIGOROUS STAND OF GRASS.
6. AFTER COMPLETION OF CONSTRUCTION WITHIN ANY PHASE, AND THE PHASE IS PROPERLY STABILIZED REMOVE ALL ACCUMULATED SEDIMENT FROM THE SEDIMENTATION CONTROL DEVICES AND SPREAD IT EVENLY ACROSS THE SITE. THE SPREADINGS SHALL BE SEEDING AND STABILIZED BASED UPON THE GROUND STABILIZATION REQUIREMENTS, AND THE TEMPORARY AND PERMANENT SEEDING SCHEDULES.

Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0389
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

Landfall Realty, LLC
 500 Arboretum Drive

EROSION CONTROL & GRADING PLAN

REV	DATE	DESCRIPTION	INIT
A	4/22/2019	INITIAL SHEET RELEASE	JRC

DEVELOPER
 LANDFALL REALTY, LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
 www.nc811.org

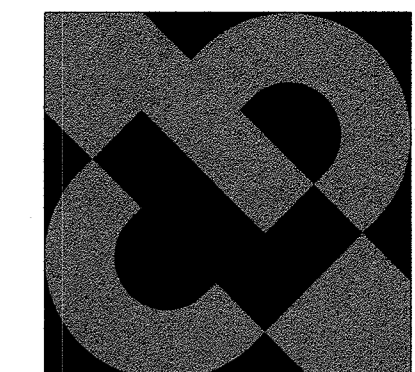
City of WILMINGTON
 Approved Construction Plan
 Name: _____ Date: _____

Planning: Nicole Smith 6/20/19
 Traffic: W. Spruill 6/20/19
 Fire: C. W. 6/20/19

City of WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: 6/20/2019 Permit # 2019034
 Signed: [Signature] for RAC

APPROVED: JRC	PROJECT: 140-08
CHECKED: FB	SCALE: 1"=20'
DESIGNED: NA	RELEASE: TRC

SHEET
CG-1



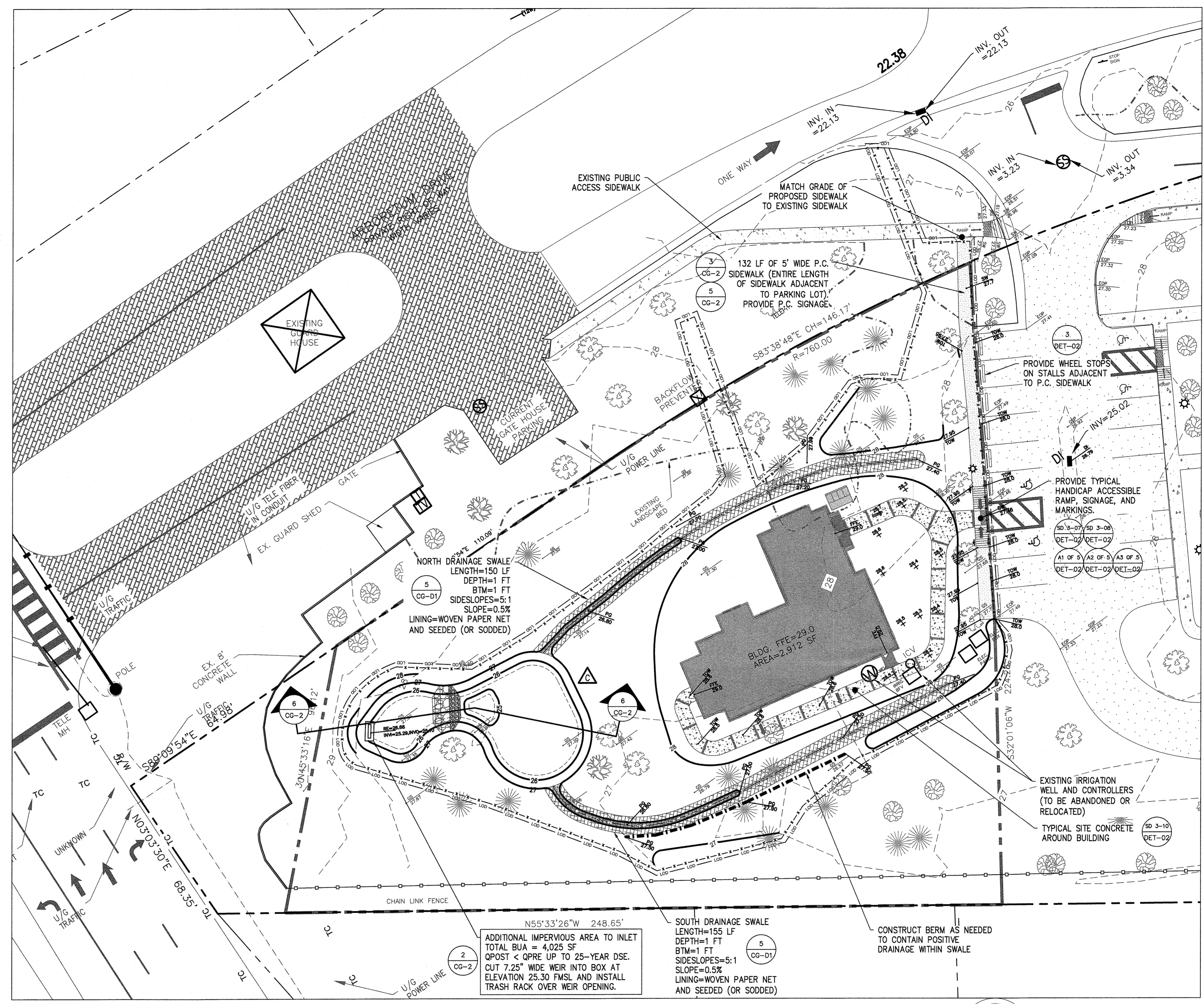
Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldesign.com

Landfall Realty, LLC
 500 Arboretum Drive

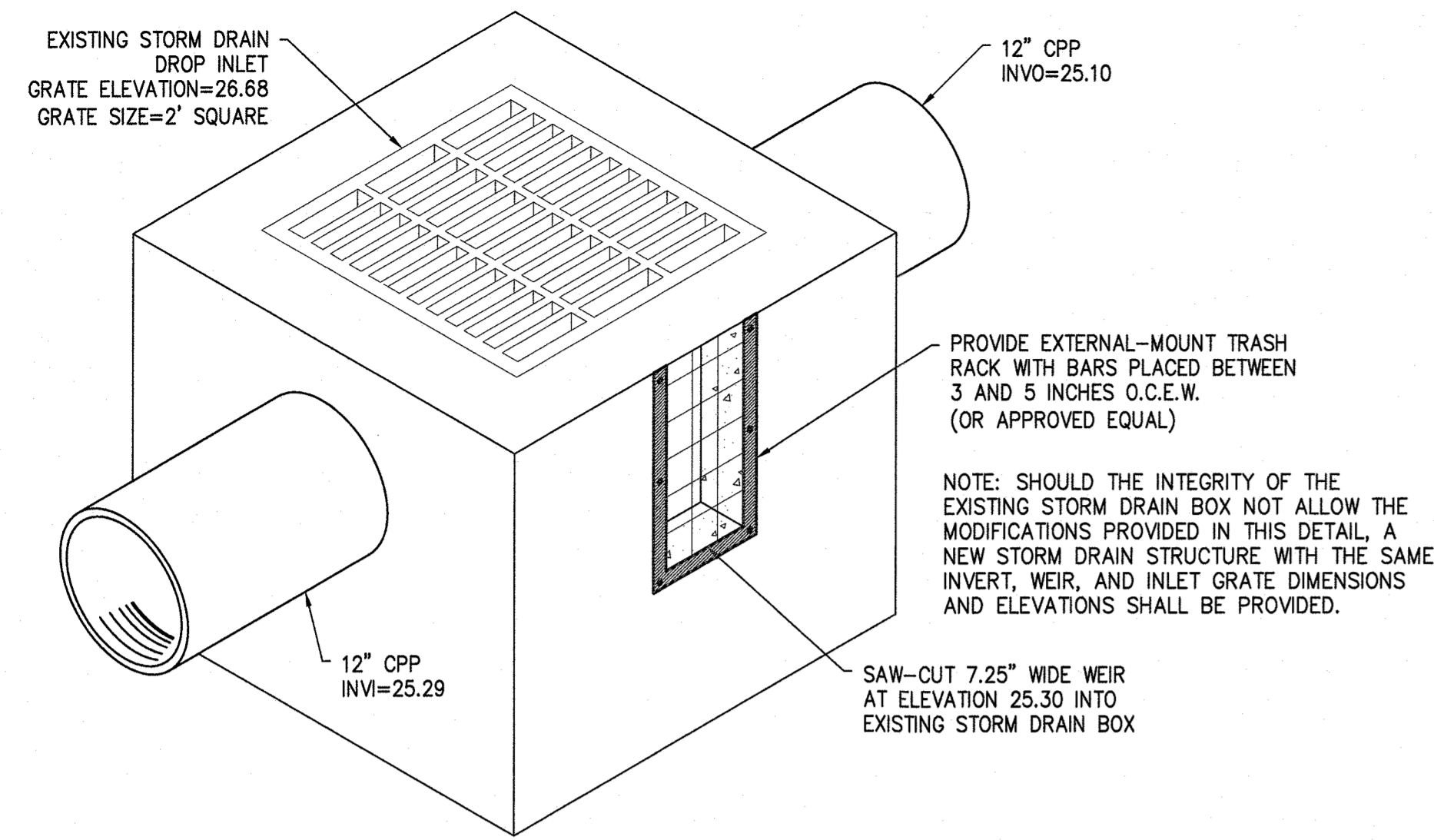
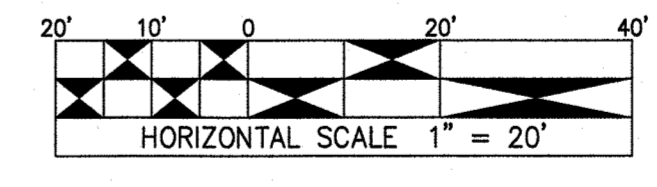
DRAINAGE/ GRADING PLAN

REV	DATE	DESCRIPTION	INIT
DC	5/21/2019	UPDATED SPOT ELEVATIONS IN THE SWALES	JBP
C	4/22/2019	ADDED STORM WATER DETENTION AREA ADJACENT TO EXIST. S.D.	JRC
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

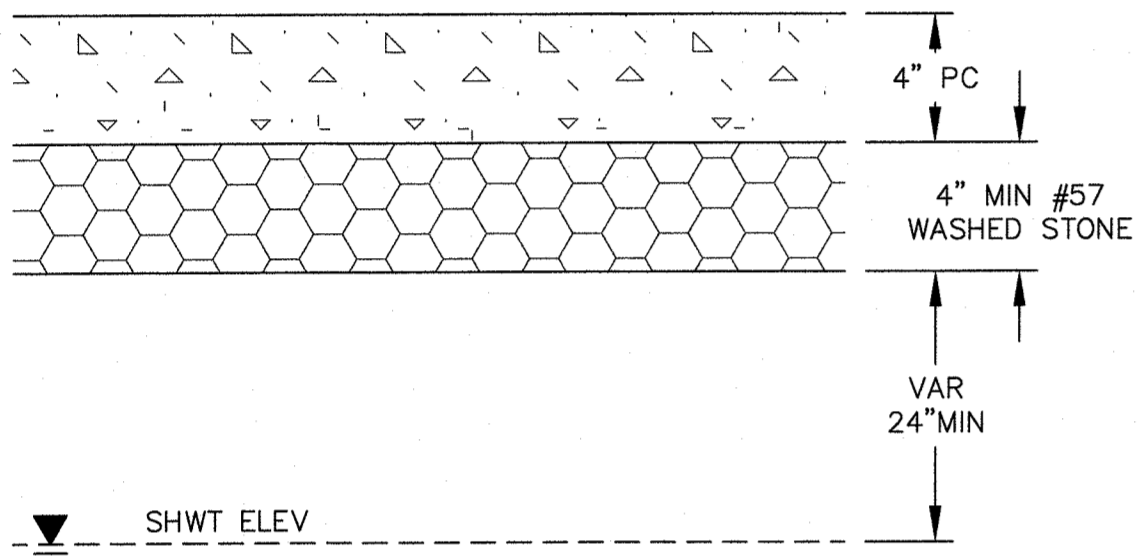
DEVELOPER
 LANDFALL REALTY, LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405



OVERALL STORMWATER PLAN
 HORIZONTAL: 1" = 20' (ON 24" X 36" PLAN SHEET)



DETENTION AREA RISER DETAIL
 NOT TO SCALE

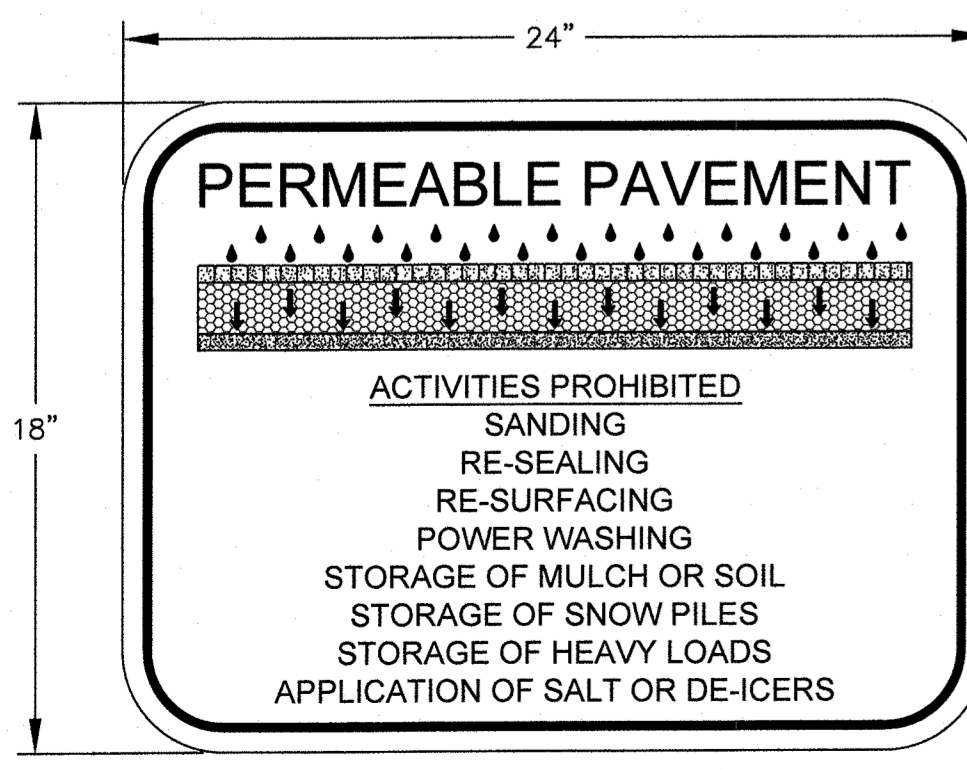


PERMEABLE CONCRETE SIDEWALK SECTION
 NOT TO SCALE

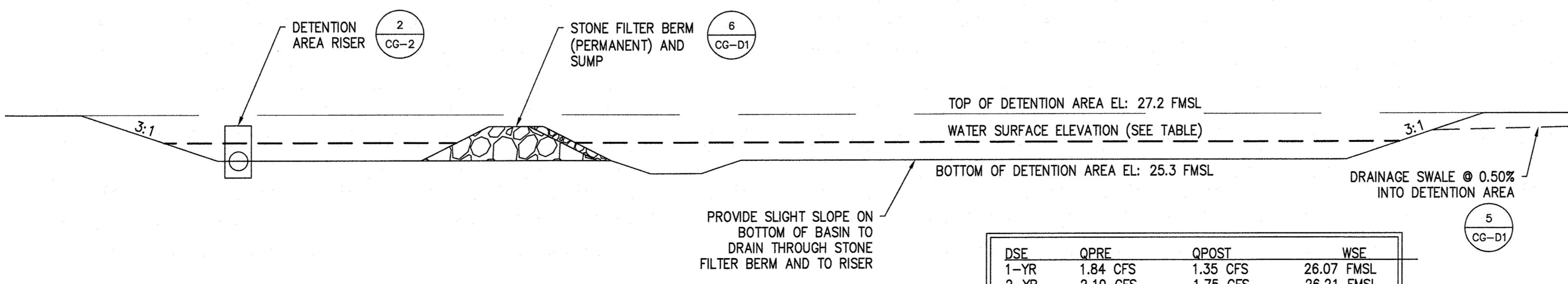
OVERALL PROJECT AREA	
ON-SITE PROJECT AREA	= 38,180 SF
OFF-SITE PROJECT AREA	= NONE
TOTAL PROJECT AREA	= 38,180 SF
IMPERVIOUS AREA	
ON-SITE BUILDINGS	= 2,912 SF
ON-SITE STREETS	= NONE
ON-SITE PARKING	= NONE
ON-SITE P.C. PARKING (100% CREDIT)	= NONE
ON-SITE SIDEWALK	= 1,091 SF
ON-SITE P.C. SIDEWALK (100% CREDIT)	= 665 SF
OTHER ON-SITE (NCDEQ PERMIT BALANCE)	= 22 SF
FUTURE ON-SITE	= NONE
OFF-SITE	= NONE
TOTAL	= 4,025 SF
PROJECT DENSITY	
4,025 SF	(100) = 10.54%
38,180 SF	

- STORMWATER GENERAL NOTES**
1. THERE ARE NO WETLANDS WITHIN THE PROJECT LIMITS.
 2. SURFACE SWALES TO BE FIELD ADJUSTED IN ORDER TO PROVIDE POSITIVE DRAINAGE TO EXISTING INLET.
 3. ALL RUNOFF FROM PROPOSED BUILDINGS SHALL BE DIRECTED TO VEGETATED SWALES.
 4. ALL ROOF DRAIN LEADERS ARE TO RELEASE RUNOFF AT GROUND LEVEL ONTO DOWNSPOUT SPLASH BLOCKS (OR APPROVED EQUAL).
 5. NO LAND DISTURBANCE ACTIVITY, INCLUDING TREE REMOVAL, IS TO OCCUR OUTSIDE OF THE LIMITS OF DISTURBANCE.
 6. THE MAXIMUM AMOUNT OF BUA FOR THIS PROJECT IS 4,025 SF AS SPECIFIED IN NCDEQ STATE STORMWATER PERMIT SWB 080211. SEE TABLE (THIS DETAIL).

STORMWATER NOTES AND BUA TABLE
 NOT TO SCALE



PERMEABLE PAVEMENT SIGN DETAIL
 NOT TO SCALE



DETENTION AREA CROSS-SECTION DETAIL
 NOT TO SCALE

DSE	QPRE	QPOST	WSE
1-YR	1.84 CFS	1.35 CFS	26.07 FMSL
2-YR	2.19 CFS	1.75 CFS	26.21 FMSL
10-YR	2.88 CFS	2.68 CFS	26.51 FMSL
25-YR	3.23 CFS	3.22 CFS	26.67 FMSL
100-YR	3.78 CFS	4.51 CFS	26.78 FMSL

ISSUED FOR AGENCY REVIEW ONLY

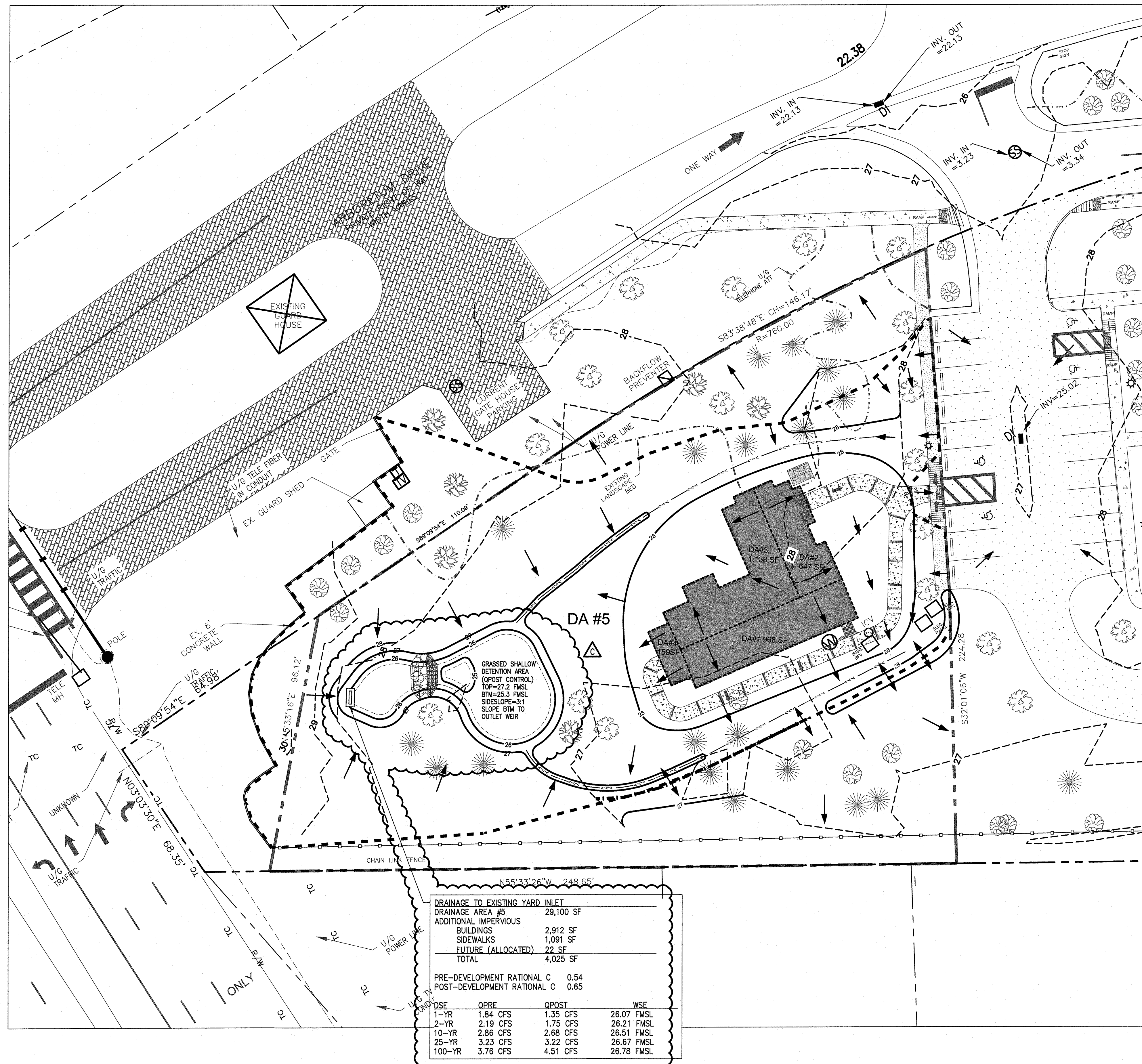
NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
 www.nc811.org

WILMINGTON
 Approved Construction Plan
 Name: _____ Date: _____
 Planning: *Nicole D Smith* 6-20-19
 Traffic: *W. Strick* 6-20-19
 File: *C. Walker* 6/20/19
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *6/20/19* Permit # *2019034*
 Signed: *Paul Butler* for RAC

APPROVED: JRC	PROJECT: 140-08
CHECKED: FB	SCALE: 1"=20'
DESIGNED: NA	RELEASE: TRC

SHEET
CG-2

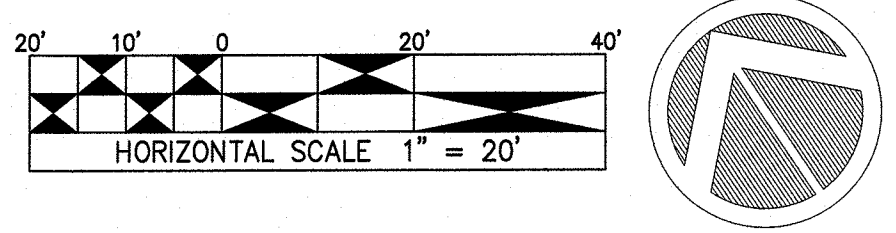


DRAINAGE TO EXISTING YARD INLET			
DRAINAGE AREA #5 29,100 SF			
ADDITIONAL IMPERVIOUS			
BUILDINGS	2,912 SF		
SIDEWALKS	1,091 SF		
FUTURE (ALLOCATED)	22 SF		
TOTAL	4,025 SF		
PRE-DEVELOPMENT RATIONAL C 0.54			
POST-DEVELOPMENT RATIONAL C 0.65			
QPRE	QPOST	WSE	
1-YR 1.84 CFS	1.35 CFS	26.07 FMSL	
2-YR 2.19 CFS	1.75 CFS	26.21 FMSL	
10-YR 2.86 CFS	2.68 CFS	26.51 FMSL	
25-YR 3.23 CFS	3.22 CFS	26.57 FMSL	
100-YR 3.76 CFS	4.51 CFS	26.78 FMSL	

SHALLOW DETENTION AREA	
OVERALL DRAINAGE AREA	
ON-SITE DRAINAGE AREA	= 29,100 SF
OFF-SITE DRAINAGE AREA	= NONE
TOTAL DRAINAGE AREA	= 29,100 SF
IMPERVIOUS AREA	
ON-SITE BUILDINGS	= 2,912 SF
ON-SITE STREETS	= NONE
ON-SITE PARKING	= NONE
ON-SITE P.C. PARKING (100% CREDIT)	= NONE
ON-SITE SIDEWALK	= 1,091 SF
ON-SITE P.C. SIDEWALK (100% CREDIT)	= 665 SF
OTHER ON-SITE (NCDEQ PERMIT BALANCE)	= 22 SF
FUTURE ON-SITE	= NONE
OFF-SITE	= NONE
TOTAL	= 4,025 SF
DRAINAGE AREA DENSITY	
4,025 SF	
29,100 SF (100) = 13.83%	

SHALLOW DETENTION AREA BASIN TABLE
 HORIZONTAL: 1" = 20" (ON 24" X 36" PLAN SHEET)

OVERALL DRAINAGE AREA MAP
 HORIZONTAL: 1" = 20" (ON 24" X 36" PLAN SHEET)



ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
 www.nc811.org

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 Approved Construction Plan
 Name: _____ Date: _____
 Planning: *Nick Smith 6-20-19*
 Traffic: *N. Smith 6-20-19*
 Fire: *C. Wall 6/20/19*

CITY OF WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *6/20/2019*, Permit # *2019034*
 Signed: *Tim R. Porter for RAC*

Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

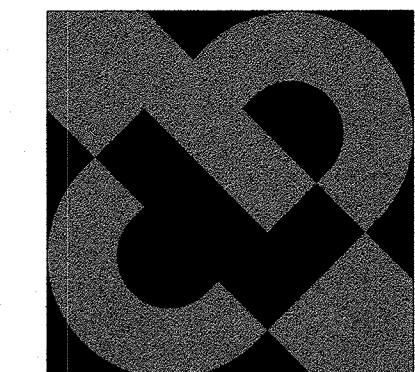
Landfall Realty, LLC
 500 Arboretum Drive
DRAINAGE AREA MAP

REV	DATE	DESCRIPTION	JRC	NA	NA	INIT
C	4/22/2019	ADDED STORM WATER RETENTION AREA ADJACENT TO EXIST. S.D.				
B	1/30/19	REVISED TRC REVIEW				
A	9/28/18	INITIAL TRC REVIEW				

DEVELOPER
LANDFALL REALTY, LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

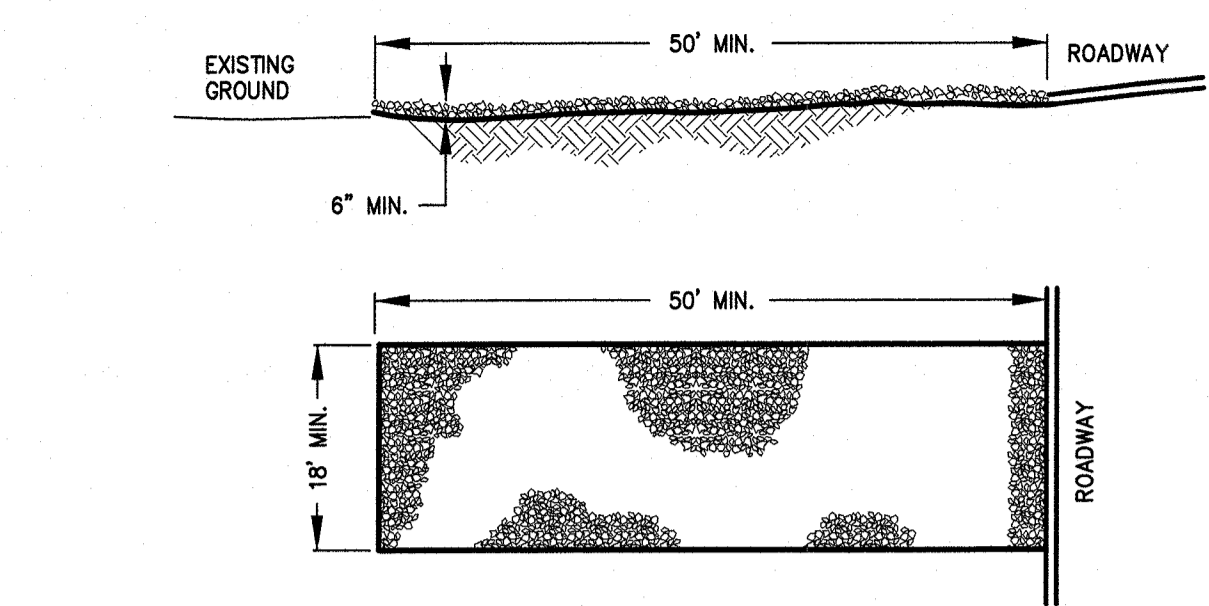
APPROVED: JRC PROJECT: 140-08
 CHECKED: FB SCALE: 1"=20'
 DESIGNED: NA RELEASE: TRC

SHEET
CG-3

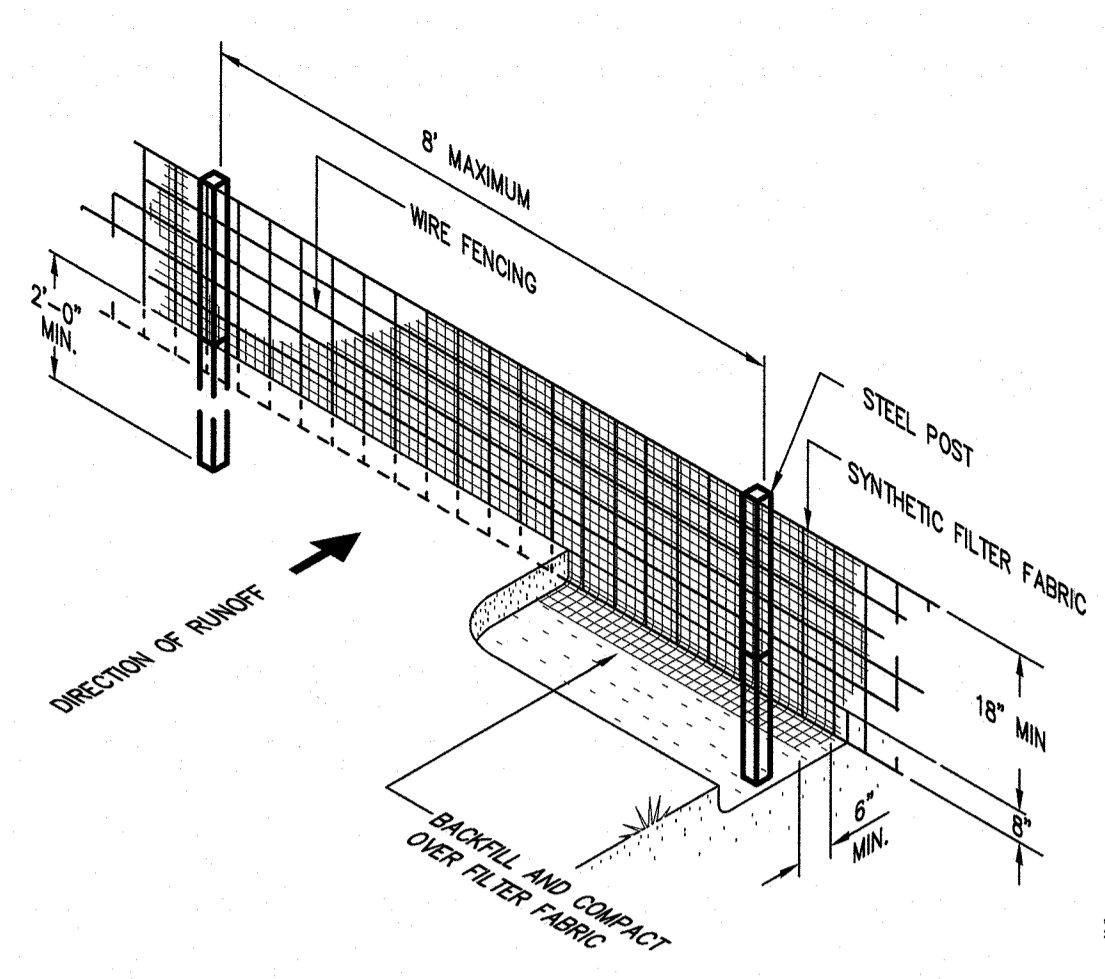


Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

Landfall Realty, LLC
 500 Arboretum Drive
EROSION CONTROL & GRADING PLAN
DETAILS

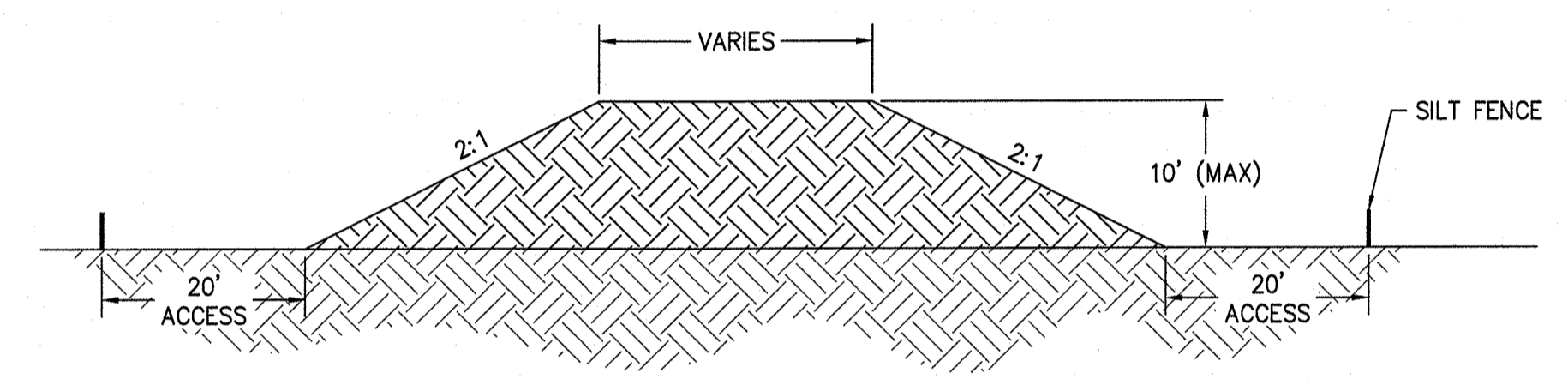


- CONSTRUCTION ENTRANCE CONSTRUCTION SPECIFICATIONS:**
- CLEAR THE ENTRANCE AND EXIST AREA OF ALL VEGETATION, ROOTS, AND OTHER OBJECTIONABLE MATERIAL.
 - PLACE THE GRAVEL TO THE SPECIFIC GRADE AND DIMENSIONS SHOWN ON THE PLANS, AND SMOOTH IT.
 - PROVIDE DRAINAGE TO CARRY WATER TO A SEDIMENT TRAP OR OTHER SUITABLE OUTLET. TRAFFIC WILL ENTER OR LEAVE THE CONSTRUCTION SITE ONTO A PUBLIC STREET. FILTER FABRIC OR COMPACTED CRUSHER RUN STONE MAY BE USED AS A BASE FOR THE CONSTRUCTION ENTRANCE.
 - THE ENTRANCE SHALL BE MAINTAINED IN A CONDITION WHICH WILL PREVENT TRACKING OR FLOWING OF SEDIMENT ONTO PUBLIC STREETS OR EXISTING PAVEMENT. THIS MAY REQUIRE PERIODIC TOP DRESSING WITH ADDITIONAL STONE AS CONDITIONS WARRANT AND REPAIR OR CLEANOUT OF ANY MEASURES USED TO TRAP SEDIMENT. ANY SEDIMENT SPILLED, DROPPED, WASHED, OR TRACKED ONTO PUBLIC STREETS MUST BE REMOVED IMMEDIATELY.
 - WHEN APPROPRIATE, WHEELS MUST BE CLEANED TO REMOVE SEDIMENT PRIOR TO ENTERING A PUBLIC STREET. WHEN WASHING IS REQUIRED, IT SHALL BE DONE IN AN AREA STABILIZED WITH CRUSHED STONE WHICH DRAINS INTO AN APPROVED SEDIMENT BASIN. SOIL STABILIZATION FABRIC SHALL BE USED.
 - NC DOT MAY REQUIRE A STANDARD COMMERCIAL DRIVEWAY TO ACCESS THE CONSTRUCTION SITE IF THE DRIVEWAY IS ON A THOROUGHFARE.
- CONSTRUCTION ENTRANCE MAINTENANCE:**
- MAINTAIN THE GRAVEL PAD IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE CONSTRUCTION SITE. REDRESS THE SOP WITH 2" STONE AS NEEDED.
 - AFTER EACH RAINFALL, INSPECT ANY STRUCTURE USED TO TRAP SEDIMENT AND CLEAN IT OUT AS NECESSARY.
 - IMMEDIATELY REMOVE ALL OBJECTIONABLE MATERIALS SPILLED, WASHED, OR TRACKED ONTO PUBLIC ROADWAYS.



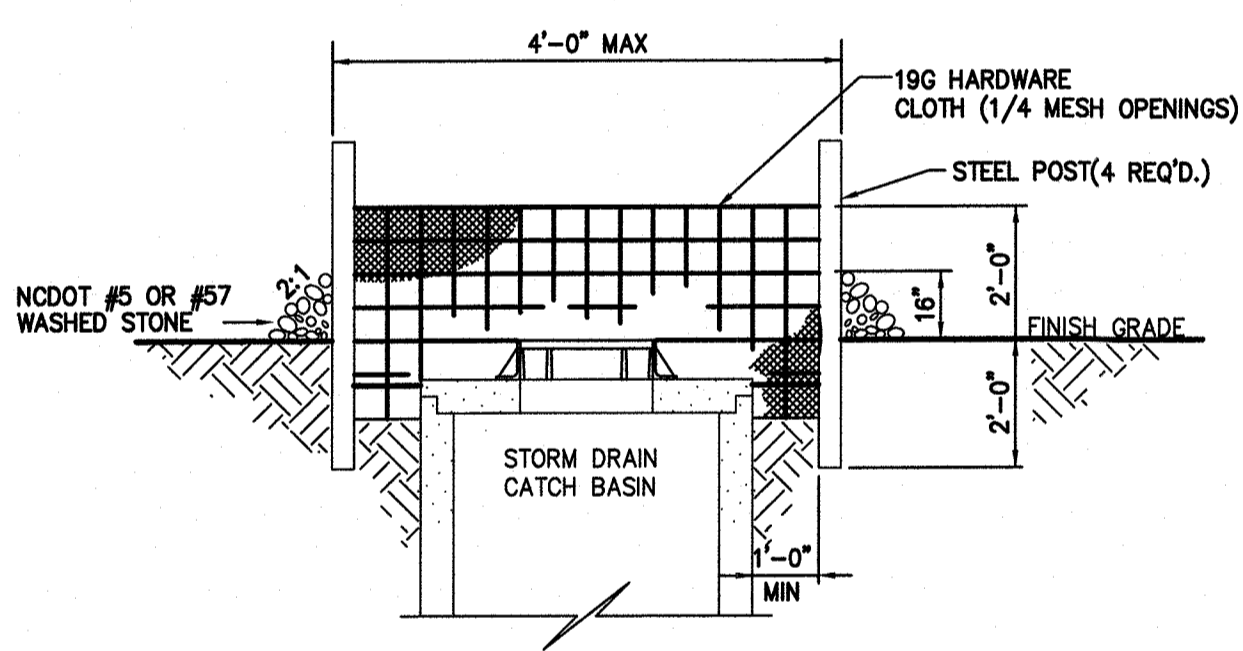
- SEDIMENT FENCE CONSTRUCTION SPECIFICATIONS:**
- SILT FENCE IS TO BE TRENCHED IN WITH TRENCHING MACHINE IN ORDER TO HAVE THE MINIMUM AREA OF DISTURBANCE (NON-EVASIVE) UPON INSTALLATION.
 - HEIGHT OF SEDIMENT FENCE IS NOT TO EXCEED 18" ABOVE THE GROUND SURFACE.
 - FILTER FABRIC TO BE CONSTRUCTED FROM CONTINUOUS ROLL CUT TO LENGTH TO AVOID JOINTS. IF JOINTS ARE NECESSARY, FILTER CLOTH IS TO BE SECURELY FASTENED TO SUPPORT POST WITH OVERLAP TO THE NEXT POST.
 - FILTER FABRIC TO BE SUPPORTED BY WIRE MESH FASTENED SECURELY TO THE UPSLOPE SIDE OF THE POSTS USING HEAVY DUTY STAPLES AT LEAST 1" LONG OR THE WIRES. EXTEND WIRE MESH SUPPORT TO THE BOTTOM OF THE TRENCH.
 - A MAXIMUM OF 8' STAKE SPACING IS ALLOWED WHEN WIRE MESH SUPPORT FENCE IS USED. SUPPORT POST SHOULD BE DRIVEN SECURELY INTO THE GROUND A DISTANCE OF AT LEAST 18".
 - EXTRA STRENGTH FILTER FABRIC WITH 6" POST SPACES DOES NOT REQUIRE WIRE MESH SUPPORT FENCE. STAPLE OR WIRE THE FILTER FABRIC DIRECTLY TO POSTS.
 - EXCAVATE A TRENCH APPROXIMATELY 4" WIDE AND 8" DEEP ALONG THE PROPOSED LINE OF POSTS AND UPSLOPE FROM THE BARRIER.
 - BACKFILL TRENCH WITH COMPACT SOIL OR GRAVEL PLACED OVER THE FILTER FABRIC.
 - DO NOT ATTACH FILTER FABRIC TO EXISTING TREES.
- SEDIMENT FENCE MAINTENANCE:**
- INSPECT SEDIMENT FENCES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - SHOULD THE FABRIC OF A SEDIMENT FENCE COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY. REPLACE BURLAP EVERY 60 DAYS.
 - REMOVE SEDIMENT DEPOSITS AS NECESSARY TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE FENCE. TAKE CARE TO AVOID UNDERMINING THE FENCE DURING CLEANOUT.
 - REMOVE ALL FENCING MATERIALS AND UNSTABLE SEDIMENT DEPOSITS AND BRING THE AREA TO GRADE AND STABILIZE IT AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED.

SILT FENCE DETAIL
 NOT TO SCALE



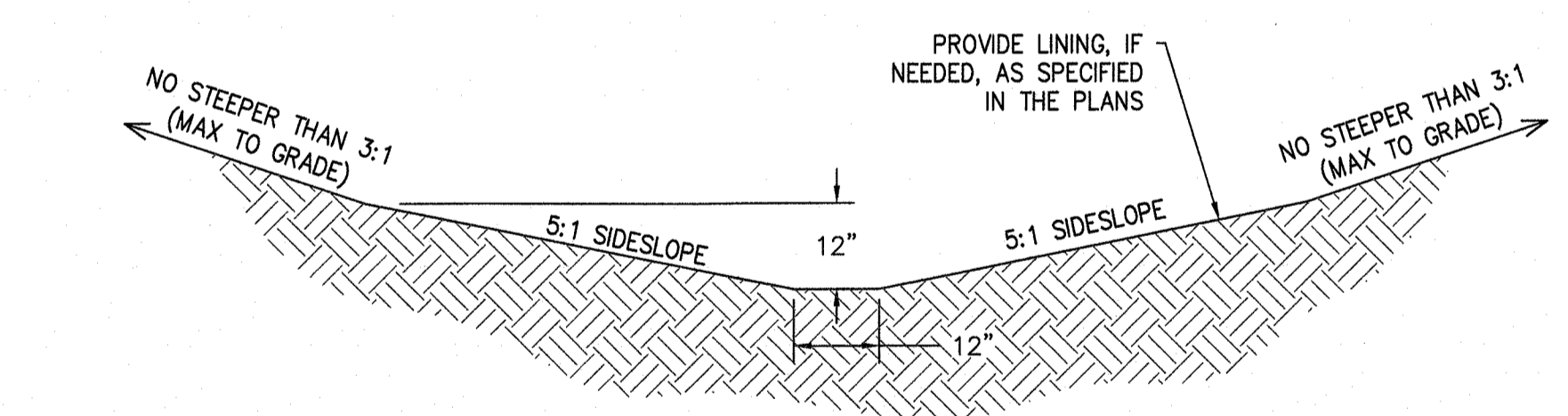
TEMPORARY STOCKPILE DETAIL
 NOT TO SCALE

CONSTRUCTION ENTRANCE DETAIL
 NOT TO SCALE



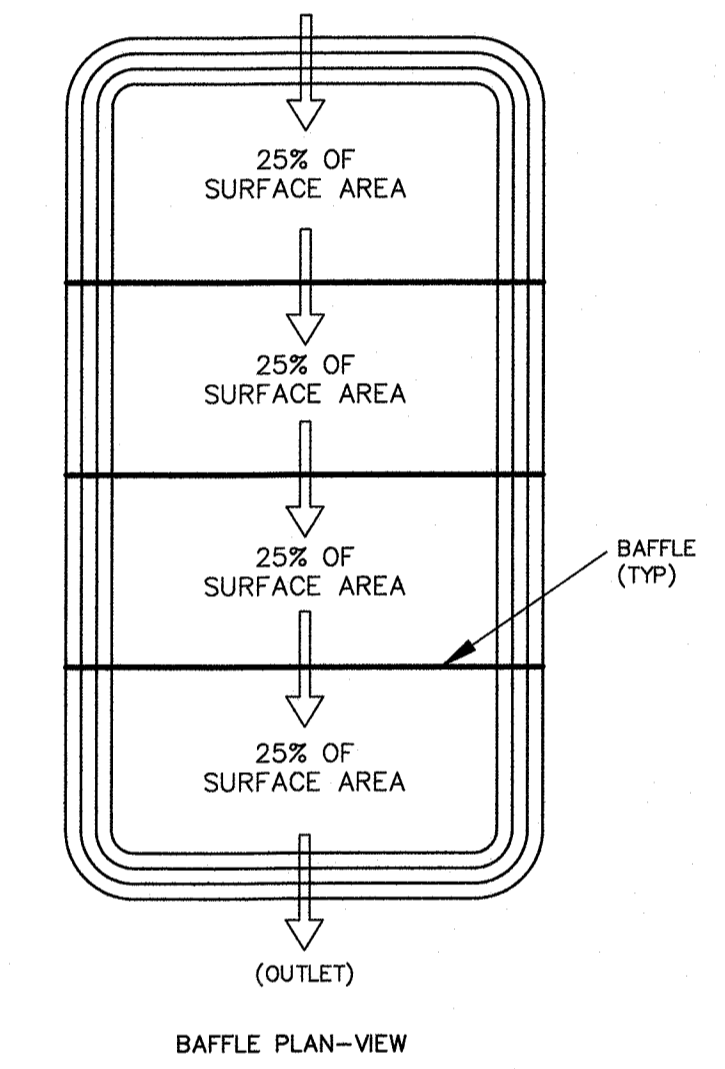
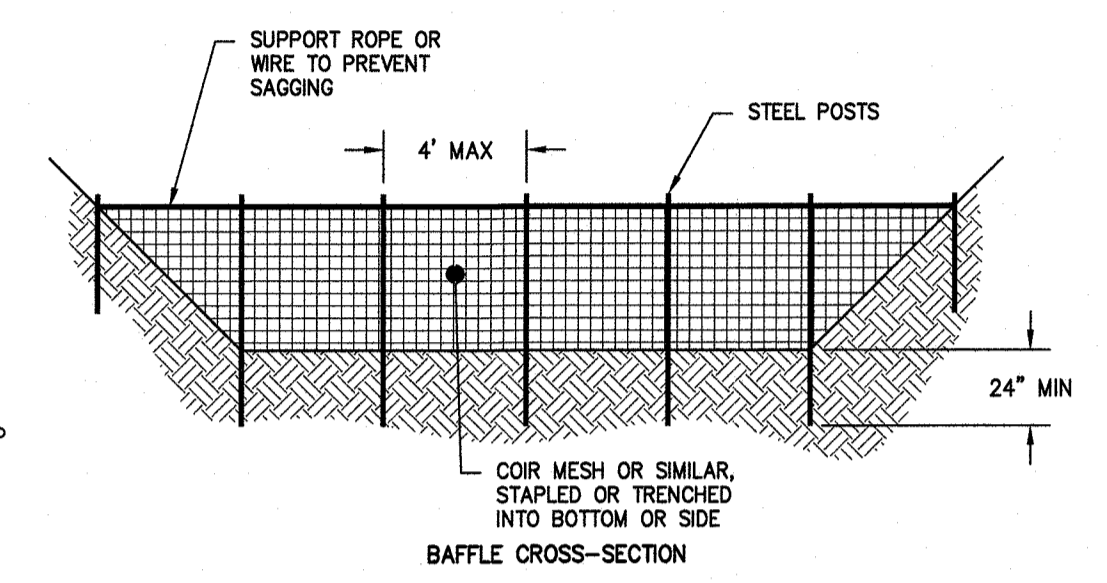
- MAINTENANCE PLAN:**
- INSPECT THE INLET PROTECTION AT LEAST WEEKLY AND AFTER EACH SIGNIFICANT (1/2-INCH OR GREATER) RAINFALL EVENT AND REPAIR IMMEDIATELY.
 - CLEAR THE MESH WIRE OF ANY DEBRIS OR OTHER OBJECTS TO PROVIDE ADEQUATE FLOW FOR SUBSEQUENT RAINS.
 - TAKE CARE NOT TO DAMAGE OR UNDERCUT THE WIRE MESH DURING SEDIMENT REMOVAL.
 - REPLACE STONE AS NEEDED.

HARDWARE CLOTH AND GRAVEL INLET PROTECTION
 NOT TO SCALE



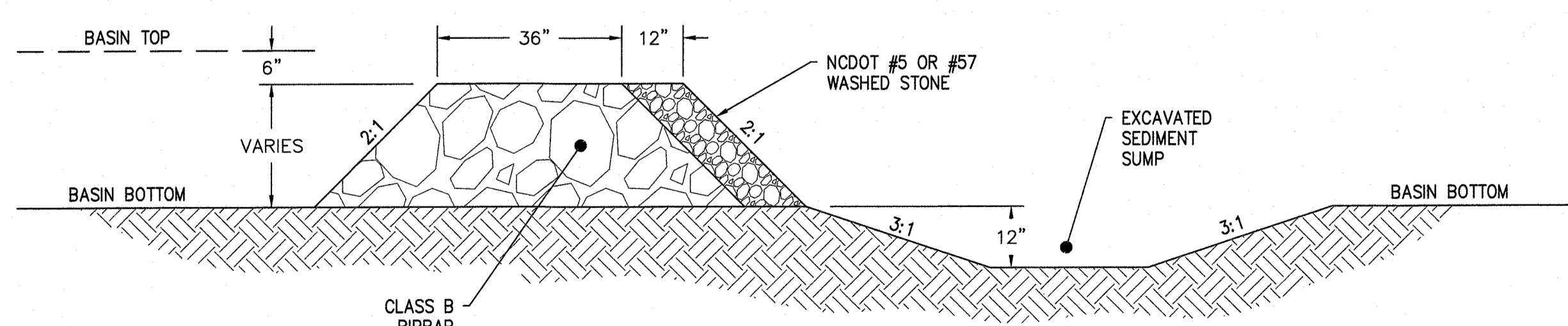
VEGETATED SWALE DETAIL
 NOT TO SCALE

- BAFFLE CONSTRUCTION SPECIFICATIONS:**
- GRADE THE BASIN SO THAT THE BOTTOM IS LEVEL FRONT TO BACK AND SIDE TO SIDE.
 - INSTALL POSTS OR SAW HORSES ACROSS THE WIDTH OF THE SEDIMENT TRAP OR BASIN.
 - STEEL POSTS SHOULD BE DRIVEN TO A DEPTH OF TWENTY-FOUR (24) INCHES, SPACED A MAXIMUM OF FOUR (4) FEET APART, AND INSTALLED UP THE SIDES OF THE BASIN AS WELL. THE TOP OF THE FABRIC SHOULD BE SIX (6) INCHES HIGHER THAN THE INVERT OF THE SPILLWAY. TOPS OF BAFFLES SHOULD BE TWO (2) INCHES LOWER THAN THE TOP OF BERMS.
 - INSTALL AT LEAST THREE ROWS OF BAFFLES BETWEEN THE INLET AND OUTLET DISCHARGE POINT. BASINS LESS THAN TWENTY (20) FEET IN LENGTH MAY USE TWO (2) BAFFLES.
 - WHEN USING POSTS, ADD A SUPPORT WIRE OR ROPE ACROSS THE TOP OF THE MEASURE TO PREVENT SAGGING.
 - WRAP POROUS MATERIAL, SUCH AS JUTE BACKED BY COIR MATERIAL, OVER A SAWHORSE OR THE TOP WIRE. HAMMER REBAR INTO THE SAWHORSE LEGS FOR ANCHORING. THE FABRIC SHOULD HAVE FIVE (5) TO TEN (10) PERCENT OPENINGS IN THE WEAVE. ATTACH FABRIC TO A ROPE AND A SUPPORT STRUCTURE WITH ZIP TIES, WIRE, OR STAPLES.
 - THE BOTTOM AND SIDES OF THE FABRIC SHOULD BE ANCHORED IN A TRENCH OR PINNED WITH EIGHT (8) INCH EROSION CONTROL MATTING STAPLES.
 - DO NOT SPLICE THE FABRIC. USE A CONTINUOUS PIECE ACROSS THE BASIN.
- BAFFLE MAINTENANCE:**
- INSPECT BAFFLES AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - BE SURE TO MAINTAIN ACCESS TO THE BAFFLES. SHOULD THE FABRIC OF THE BAFFLE COLLAPSE, TEAR, DECOMPOSE, OR BECOME INEFFECTIVE, REPLACE IT PROMPTLY.
 - REMOVE SEDIMENT DEPOSITS WHEN IT REACHES HALF FULL TO PROVIDE ADEQUATE STORAGE VOLUME FOR THE NEXT RAIN AND TO REDUCE PRESSURE ON THE BAFFLES. TAKE CARE TO AVOID DAMAGING THE BAFFLES DURING CLEANOUT. SEDIMENT DEPTH SHOULD NEVER EXCEED HALF THE DESIGNED STORAGE DEPTH.
 - AFTER THE CONTRIBUTING DRAINAGE AREA HAS BEEN PROPERLY STABILIZED, REMOVE ALL BAFFLE MATERIALS, AND UNSTABLE SEDIMENT DEPOSITS, BRING THE AREA TO GRADE, AND STABILIZE IT.



BAFFLE DETAIL
 NOT TO SCALE

- STONE FILTER BERM CONSTRUCTION SPECIFICATIONS:**
- CLEAR THE AREA OF ALL DEBRIS THAT MIGHT HINDER EXCAVATION AND DISPOSAL OF SPILL.
 - INSTALL THE CLASS B RIPRAP OR CLASS 1 RIPRAP ACROSS THE BASIN. THE STONE SHOULD BE BUILT UP HIGHER ON EACH END WHERE IT TIES INTO THE EMBANKMENT. THE MINIMUM CREST WIDTH SHOULD BE 3 FEET, WITH A MINIMUM BOTTOM WIDTH OF 11 FEET. THE MINIMUM HEIGHT SHOULD BE 1.5 FEET, BUT ALSO A MINIMUM OF 8" BELOW THE EMBANKMENT.
 - A 1 FOOT THICK LAYER OF NC DOT #5 OR #57 WASHED STONE SHOULD BE PLACED ON THE OUTSIDE SLOPE OF THE RIPRAP.
 - THE SEDIMENT STORAGE AREA SHOULD BE EXCAVATED AROUND THE OUTSIDE OF THE STONE A MINIMUM OF 12" BELOW THE TOE OF THE STONE FILTER.
- STONE FILTER BERM MAINTENANCE:**
- INSPECT STONE FILTER BERM AT LEAST ONCE A WEEK AND AFTER EACH RAINFALL. MAKE ANY REQUIRED REPAIRS IMMEDIATELY.
 - REMOVE SEDIMENT AND RESTORE THE SEDIMENT STORAGE AREA TO ITS ORIGINAL DIMENSIONS WHEN THE SEDIMENT HAS ACCUMULATED TO ONE-HALF THE DESIGN DEPTH OF THE BASIN. PLACE THE SEDIMENT THAT IS REMOVED IN THE DESIGNATED DISPOSAL AREA AND REPLACE THE CONTAMINATED PART OF THE GRAVEL FACING.
 - CHECK THE STRUCTURE FOR DAMAGE. ANY RIPRAP DISPLACED FROM THE FILTER BERM MUST BE REPLACED IMMEDIATELY.



STONE FILTER BERM (PERMANENT)
 NOT TO SCALE

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL

North Carolina 811
 www.nc811.org

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

CITY OF WILMINGTON
 Approved Construction Plan

Name: _____ Date: _____

Planning: Nicole Dimuth 6-20-19
 Traffic: W. Smith 6-20-19
 Fire: C. White 6/22/19

CITY OF WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN

Date: 6/20/2019 Permit # 2019034
 Signed: *Just Butler for RAC*

REV	DATE	DESCRIPTION	INIT
B	5/28/2019	REMOVE NPDES NOTE	JRC
A	4/22/2019	INITIAL SHEET RELEASE	JRC

DEVELOPER
 LANDFALL REALTY, LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

APPROVED:	JRC	PROJECT:	140-08
CHECKED:	FB	SCALE:	NTS
DESIGNED:	NA	RELEASE:	TRC

SHEET
CG-D1

GROUND STABILIZATION AND MATERIALS HANDLING PRACTICES FOR COMPLIANCE WITH THE NCG01 CONSTRUCTION GENERAL PERMIT

Implementing the details and specifications on this plan sheet will result in the construction activity being considered compliant with the Ground Stabilization and Materials Handling sections of the NCG01 Construction General Permit (Sections E and F, respectively). The permittee shall comply with the Erosion and Sediment Control plan approved by the delegated authority having jurisdiction. All details and specifications shown on this sheet may not apply depending on site conditions and the delegated authority having jurisdiction.

SECTION E: GROUND STABILIZATION

Required Ground Stabilization Timeframes		
Site Area Description	Stabilize within this many calendar days after ceasing land disturbance	Timeframe variations
(a) Perimeter dikes, swales, ditches, and perimeter slopes	7	None
(b) High Quality Water (HQW) Zones	7	None
(c) Slopes steeper than 3:1	7	If slopes are 10' or less in length and are not steeper than 2:1, 14 days are allowed
(d) Slopes 3:1 to 4:1	14	-7 days for slopes greater than 50' in length and with slopes steeper than 4:1 -7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed
(e) Areas with slopes flatter than 4:1	14	-7 days for perimeter dikes, swales, ditches, perimeter slopes and HQW Zones -10 days for Falls Lake Watershed unless there is zero slope

Note: After the permanent cessation of construction activities, any areas with temporary ground stabilization shall be converted to permanent ground stabilization as soon as practicable but in no case longer than 90 calendar days after the last land disturbing activity. Temporary ground stabilization shall be maintained in a manner to render the surface stable against accelerated erosion until permanent ground stabilization is achieved.

GROUND STABILIZATION SPECIFICATION

Stabilize the ground sufficiently so that rain will not dislodge the soil. Use one of the techniques in the table below:

Temporary Stabilization	Permanent Stabilization
<ul style="list-style-type: none"> Temporary grass seed covered with straw or other mulches and tackifiers Hydroseeding Rolled erosion control products with or without temporary grass seed Appropriately applied straw or other mulch Plastic sheeting 	<ul style="list-style-type: none"> Permanent grass seed covered with straw or other mulches and tackifiers Geotextile fabrics such as permanent soil reinforcement matting Hydroseeding Shrubs or other permanent plantings covered with mulch Uniform and evenly distributed ground cover sufficient to restrain erosion Structural methods such as concrete, asphalt or retaining walls Rolled erosion control products with grass seed

POLYACRYLAMIDES (PAMS) AND FLOCCULANTS

- Select flocculants that are appropriate for the soils being exposed during construction, selecting from the *NC DWR List of Approved PAMS/Flocculants*.
- Apply flocculants at or before the inlets to Erosion and Sediment Control Measures.
- Apply flocculants at the concentrations specified in the *NC DWR List of Approved PAMS/Flocculants* and in accordance with the manufacturer's instructions.
- Provide ponding area for containment of treated Stormwater before discharging offsite.
- Store flocculants in leak-proof containers that are kept under storm-resistant cover or surrounded by secondary containment structures.

EQUIPMENT AND VEHICLE MAINTENANCE

- Maintain vehicles and equipment to prevent discharge of fluids.
- Provide drip pans under any stored equipment.
- Identify leaks and repair as soon as feasible, or remove leaking equipment from the project.
- Collect all spent fluids, store in separate containers and properly dispose as hazardous waste (recycle when possible).
- Remove leaking vehicles and construction equipment from service until the problem has been corrected.
- Bring used fuels, lubricants, coolants, hydraulic fluids and other petroleum products to a recycling or disposal center that handles these materials.

LITTER, BUILDING MATERIAL AND LAND CLEARING WASTE

- Never bury or burn waste. Place litter and debris in approved waste containers.
- Provide a sufficient number and size of waste containers (e.g. dumpster, trash receptacle) on site to contain construction and domestic wastes.
- Locate waste containers at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Locate waste containers on areas that do not receive substantial amounts of runoff from upland areas and does not drain directly to a storm drain, stream or wetland.
- Cover waste containers at the end of each workday and before storm events or provide secondary containment. Repair or replace damaged waste containers.
- Anchor all lightweight items in waste containers during times of high winds.
- Empty waste containers as needed to prevent overflow. Clean up immediately if containers overflow.
- Dispose waste off-site at an approved disposal facility.
- On business days, clean up and dispose of waste in designated waste containers.

PAINT AND OTHER LIQUID WASTE

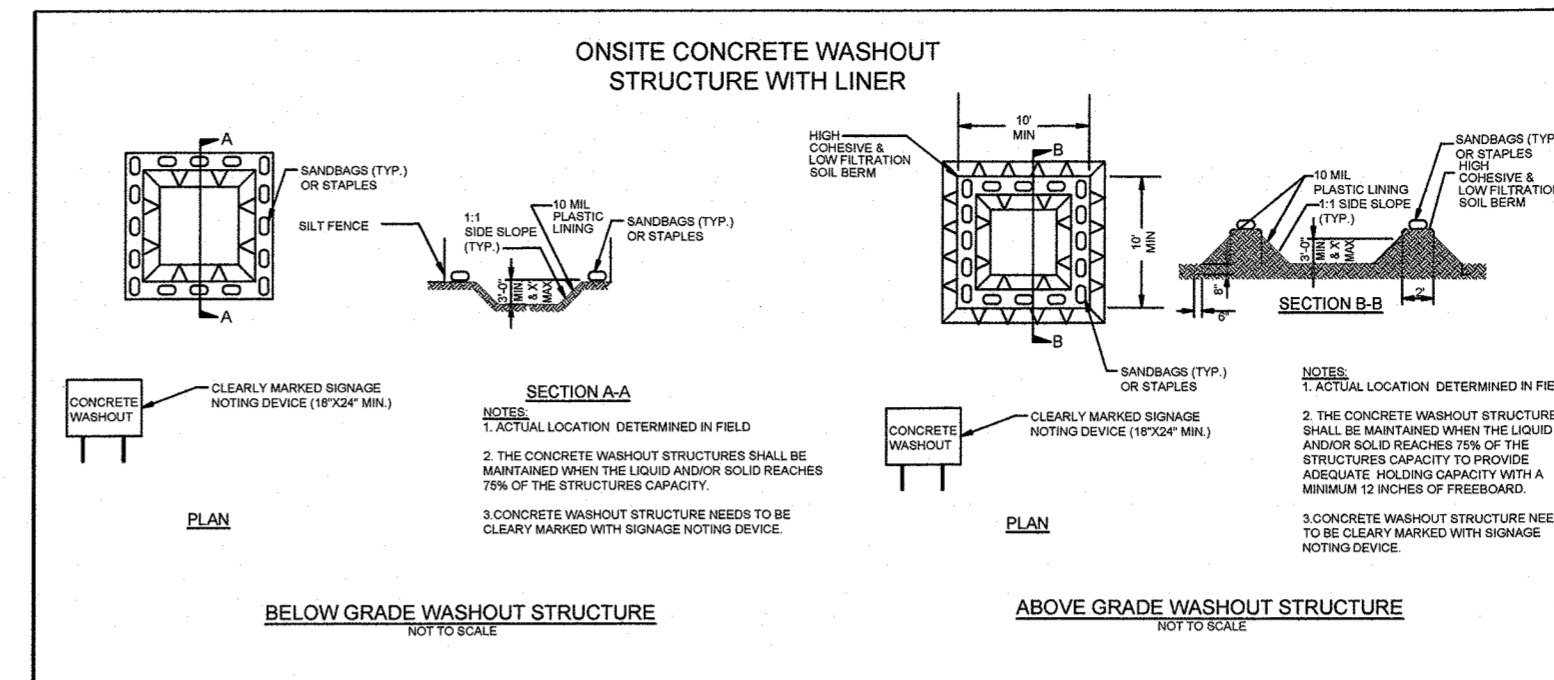
- Do not dump paint and other liquid waste into storm drains, streams or wetlands.
- Locate paint washouts at least 50 feet away from storm drain inlets and surface waters unless no other alternatives are reasonably available.
- Contain liquid wastes in a controlled area.
- Containment must be labeled, sized and placed appropriately for the needs of site.
- Prevent the discharge of soaps, solvents, detergents and other liquid wastes from construction sites.

PORTABLE TOILETS

- Install portable toilets on level ground, at least 50 feet away from storm drains, streams or wetlands unless there is no alternative reasonably available. If 50 foot offset is not attainable, provide relocation of portable toilet behind silt fence or place on a gravel pad and surround with sand bags.
- Provide staking or anchoring of portable toilets during periods of high winds or in high foot traffic areas.
- Monitor portable toilets for leaking and properly dispose of any leaked material. Utilize a licensed sanitary waste hauler to remove leaking portable toilets and replace with properly operating unit.

EARTHEN STOCKPILE MANAGEMENT

- Show stockpile locations on plans. Locate earthen-material stockpile areas at least 50 feet away from storm drain inlets, sediment basins, perimeter sediment controls and surface waters unless it can be shown no other alternatives are reasonably available.
- Protect stockpile with silt fence installed along toe of slope with a minimum offset of five feet from the toe of stockpile.
- Provide stable stone access point when feasible.
- Stabilize stockpile within the timeframes provided on this sheet and in accordance with the approved plan and any additional requirements. Soil stabilization is defined as vegetative, physical or chemical coverage techniques that will restrain accelerated erosion on disturbed soils for temporary or permanent control needs.



CONCRETE WASHOUTS

- Do not discharge concrete or cement slurry from the site.
- Dispose of, or recycle settled, hardened concrete residue in accordance with local and state solid waste regulations and at an approved facility.
- Manage washout from mortar mixers in accordance with the above item and in addition place the mixer and associated materials on impervious barrier and within lot perimeter silt fence.
- Install temporary concrete washouts per local requirements, where applicable. If an alternate method or product is to be used, contact your approval authority for review and approval. If local standard details are not available, use one of the two types of temporary concrete washouts provided on this detail.
- Do not use concrete washouts for dewatering or storing defective curb or sidewalk sections. Stormwater accumulated within the washout may not be pumped into or discharged to the storm drain system or receiving surface waters. Liquid waste must be pumped out and removed from project.
- Locate washouts at least 50 feet from storm drain inlets and surface waters unless it can be shown that no other alternatives are reasonably available. At a minimum, install protection of storm drain inlet(s) closest to the washout which could receive spills or overflow.
- Locate washouts in an easily accessible area, on level ground and install a stone entrance pad in front of the washout. Additional controls may be required by the approving authority.
- Install at least one sign directing concrete trucks to the washout within the project limits. Post signage on the washout itself to identify this location.
- Remove leavings from the washout when at approximately 75% capacity to limit overflow events. Replace the tarp, sand bags or other temporary structural components when no longer functional. When utilizing alternative or proprietary products, follow manufacturer's instructions.
- At the completion of the concrete work, remove remaining leavings and dispose of in an approved disposal facility. Fill pit, if applicable, and stabilize any disturbance caused by removal of washout.

HERBICIDES, PESTICIDES AND RODENTICIDES

- Store and apply herbicides, pesticides and rodenticides in accordance with label restrictions.
- Store herbicides, pesticides and rodenticides in their original containers with the label, which lists directions for use, ingredients and first aid steps in case of accidental poisoning.
- Do not store herbicides, pesticides and rodenticides in areas where flooding is possible or where they may spill or leak into wells, stormwater drains, ground water or surface water. If a spill occurs, clean area immediately.
- Do not stockpile these materials onsite.

HAZARDOUS AND TOXIC WASTE

- Create designated hazardous waste collection areas on-site.
- Place hazardous waste containers under cover or in secondary containment.
- Do not store hazardous chemicals, drums or bagged materials directly on the ground.

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

EFFECTIVE: 04/01/19

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION



WILMINGTON NORTH CAROLINA

Approved Construction Plan

Name _____ Date _____

Planning Nicole Dennis 6/20/19

Traffic [Signature] 6/20/19

Fire [Signature] 6/20/19

WILMINGTON NORTH CAROLINA

Public Services • Engineering Division

APPROVED STORMWATER MANAGEMENT PLAN

Date: 6/20/2019 Permit # 2019034

Signed: [Signature] for RAC

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License P-0369
P.O. Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 Fax: 910-254-0502
www.cldesign.com

Landfall Realty, LLC
500 Arboretum Drive

NCG01 GROUND STABILIZATION AND MATERIALS HANDLING

REV	DATE	DESCRIPTION	INIT
A	4/22/2019	INITIAL SHEET RELEASE	JRC

DEVELOPER
LANDFALL REALTY, LLC
1720 DRYSDALE DRIVE
WILMINGTON, NC 28405

APPROVED: JRC PROJECT: 140-08

CHECKED: FB SCALE: NTS

DESIGNED: NA RELEASE: TRC

SHEET
CG-D2

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION A: SELF-INSPECTION

Self-inspections are required during normal business hours in accordance with the table below. When adverse weather or site conditions would cause the safety of the inspection personnel to be in jeopardy, the inspection may be delayed until the next business day on which it is safe to perform the inspection. In addition, when a storm event of equal to or greater than 1.0 inch occurs outside of normal business hours, the self-inspection shall be performed upon the commencement of the next business day. Any time when inspections

Inspect	Frequency (during normal business hours)	Inspection records must include:
(1) Rain gauge maintained in good working order	Daily	Daily rainfall amounts. If no daily rain gauge observations are made during weekend or holiday periods, and no individual-day rainfall information is available, record the cumulative rain measurement for those unattended days (and this will determine if a site inspection is needed). Days on which no rainfall occurred shall be recorded as "zero." The permittee may use another rain-monitoring device approved by the Division.
(2) E&SC Measures	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the measures inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Indication of whether the measures were operating properly, 5. Description of maintenance needs for the measure, 6. Description, evidence, and date of corrective actions taken.
(3) Stormwater discharge outfalls (SDOs)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	1. Identification of the discharge outfalls inspected, 2. Date and time of the inspection, 3. Name of the person performing the inspection, 4. Evidence of indicators of stormwater pollution such as oil sheen, floating or suspended solids or discoloration, 5. Indication of visible sediment leaving the site, 6. Description, evidence, and date of corrective actions taken.
(4) Perimeter of site	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If visible sedimentation is found outside site limits, then a record of the following shall be made: 1. Actions taken to clean up or stabilize the sediment that has left the site limits, 2. Description, evidence, and date of corrective actions taken, and 3. An explanation as to the actions taken to control future releases.
(5) Streams or wetlands onsite or offsite (where accessible)	At least once per 7 calendar days and within 24 hours of a rain event \geq 1.0 inch in 24 hours	If the stream or wetland has increased visible sedimentation or a stream has visible increased turbidity from the construction activity, then a record of the following shall be made: 1. Description, evidence and date of corrective actions taken, and 2. Records of the required reports to the appropriate Division Regional Office per Part III, Section C, Item (2)(a) of this permit of this permit.
(6) Ground stabilization measures	After each phase of grading	1. The phase of grading (installation of perimeter E&SC measures, clearing and grubbing, installation of storm drainage facilities, completion of all land-disturbing activity, construction or redevelopment, permanent ground cover). 2. Documentation that the required ground stabilization measures have been provided within the required timeframe or an assurance that they will be provided as soon as possible.

NOTE: The rain inspection resets the required 7 calendar day inspection requirement.

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

SECTION B: RECORDKEEPING

1. E&SC Plan Documentation

The approved E&SC plan as well as any approved deviation shall be kept on the site. The approved E&SC plan must be kept up-to-date throughout the coverage under this permit. The following items pertaining to the E&SC plan shall be documented in the manner

Item to Document	Documentation Requirements
(a) Each E&SC Measure has been installed and does not significantly deviate from the locations, dimensions and relative elevations shown on the approved E&SC Plan.	Initial and date each E&SC Measure on a copy of the approved E&SC Plan or complete, date and sign an inspection report that lists each E&SC Measure shown on the approved E&SC Plan. This documentation is required upon the initial installation of the E&SC Measures or if the E&SC Measures are modified after initial installation.
(b) A phase of grading has been completed.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate completion of the construction phase.
(c) Ground cover is located and installed in accordance with the approved E&SC Plan.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate compliance with approved ground cover specifications.
(d) The maintenance and repair requirements for all E&SC Measures have been performed.	Complete, date and sign an inspection report.
(e) Corrective actions have been taken to E&SC Measures.	Initial and date a copy of the approved E&SC Plan or complete, date and sign an inspection report to indicate the completion of the corrective action.

2. Additional Documentation

In addition to the E&SC Plan documents above, the following items shall be kept on the site and available for agency inspectors at all times during normal business hours, unless the Division provides a site-specific exemption based on unique site conditions that make this requirement not practical:

- (a) This general permit as well as the certificate of coverage, after it is received.
- (b) Records of inspections made during the previous 30 days. The permittee shall record the required observations on the Inspection Record Form provided by the Division or a similar inspection form that includes all the required elements. Use of electronically-available records in lieu of the required paper copies will be allowed if shown to provide equal access and utility as the hard-copy records.
- (c) All data used to complete the Notice of Intent and older inspection records shall be maintained for a period of three years after project completion and made available upon request. [40 CFR 122.41]

**PART III
SELF-INSPECTION, RECORDKEEPING AND REPORTING**

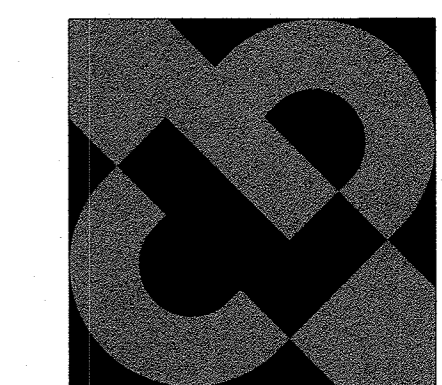
SECTION C: REPORTING

1. Occurrences that must be reported

Permittees shall report the following occurrences:

- (a) Visible sediment deposition in a stream or wetland.
- (b) Oil spills if:
 - They are 25 gallons or more,
 - They are less than 25 gallons but cannot be cleaned up within 24 hours,
 - They cause sheen on surface waters (regardless of volume), or
 - They are within 100 feet of surface waters (regardless of volume).
- (a) Releases of hazardous substances in excess of reportable quantities under Section 311 of the Clean Water Act (Ref: 40 CFR 110.3 and 40 CFR 117.3) or Section 102 of CERCLA (Ref: 40 CFR 302.4) or G.S. 143-215.85.
- (b) Anticipated bypasses and unanticipated bypasses.
- (c) Noncompliance with the conditions of this permit that may endanger health or the environment.

Occurrence	Reporting Timeframes (After Discovery) and Other Requirements
(a) Visible sediment deposition in a stream or wetland	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the sediment and actions taken to address the cause of the deposition. Division staff may waive the requirement for a written report on a case-by-case basis. • If the stream is named on the NC 303(d) list as impaired for sediment-related causes, the permittee may be required to perform additional monitoring, inspections or apply more stringent practices if staff determine that additional requirements are needed to assure compliance with the federal or state impaired-waters conditions.
(b) Oil spills and release of hazardous substances per Item 1(b)-(c) above	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. The notification shall include information about the date, time, nature, volume and location of the spill or release.
(c) Anticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • A report at least ten days before the date of the bypass, if possible. The report shall include an evaluation of the anticipated quality and effect of the bypass.
(d) Unanticipated bypasses [40 CFR 122.41(m)(3)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that includes an evaluation of the quality and effect of the bypass.
(e) Noncompliance with the conditions of this permit that may endanger health or the environment [40 CFR 122.41(l)(7)]	<ul style="list-style-type: none"> • Within 24 hours, an oral or electronic notification. • Within 7 calendar days, a report that contains a description of the noncompliance, and its causes; the period of noncompliance, including exact dates and times, and if the noncompliance has not been corrected, the anticipated time noncompliance is expected to continue; and steps taken or planned to reduce, eliminate, and prevent reoccurrence of the noncompliance. [40 CFR 122.41(l)(6). • Division staff may waive the requirement for a written report on a case-by-case basis.



Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License P-0369
P.O. Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 Fax: 910-254-0502
www.clddesign.com

Landfall Realty, LLC
500 Arboretum Drive

NCG01 SELF INSPECTION
RECORDKEEPING AND REPORTING

REV	DATE	DESCRIPTION	INIT
A	4/22/2019	INITIAL SHEET RELEASE	

DEVELOPER
LANDFALL REALTY, LLC
1720 DRYSDALE DRIVE
WILMINGTON, NC 28405

NCG01 SELF-INSPECTION, RECORDKEEPING AND REPORTING

EFFECTIVE: 04/01/19

ISSUED FOR AGENCY
REVIEW ONLY

NOT RELEASED FOR
CONSTRUCTION

BEFORE YOU DIG, CALL



WILMINGTON
Approved Construction Plan
Name: Nicole Smith Date: 6-20-19
Planning: W. Smith Traffic: W. Smith
Fire: C. W. Smith 6/20/19

WILMINGTON
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 6/20/2019 Permit # 2019034
Signed: Trent Smith for RAC

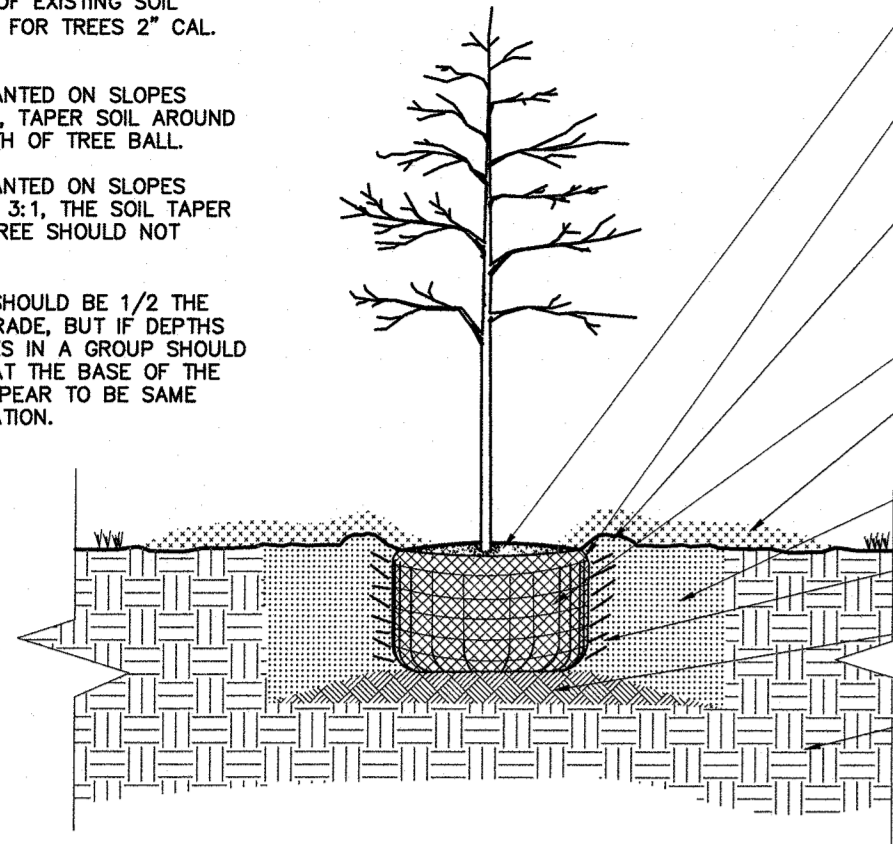
For each open utility cut of City streets, a \$350 permit shall be required from the City prior to occupancy and/or project acceptance.

APPROVED: JRC	PROJECT: 140-08
CHECKED: FB	SCALE: NTS
DESIGNED: NA	RELEASE: TRC

SHEET
CG-D3

NOTES

SCARIFICATION OF EXISTING SOIL 3" RADIUS MIN. FOR TREES 2" CAL. OR GREATER.
 FOR TREES PLANTED ON SLOPES LESS THAN 3:1, TAPER SOIL AROUND TREE 1.5X WIDTH OF TREE BALL.
 FOR TREES PLANTED ON SLOPES GREATER THAN 3:1, THE SOIL TAPER AROUND THE TREE SHOULD NOT EXCEED 2:1
 BALL DEPTHS SHOULD BE 1/2 THE BALL ABOVE GRADE, BUT IF DEPTHS VARY ALL TREES IN A GROUP SHOULD BE SET SO THAT THE BASE OF THE TRUNK WILL APPEAR TO BE SAME RELATIVE ELEVATION.

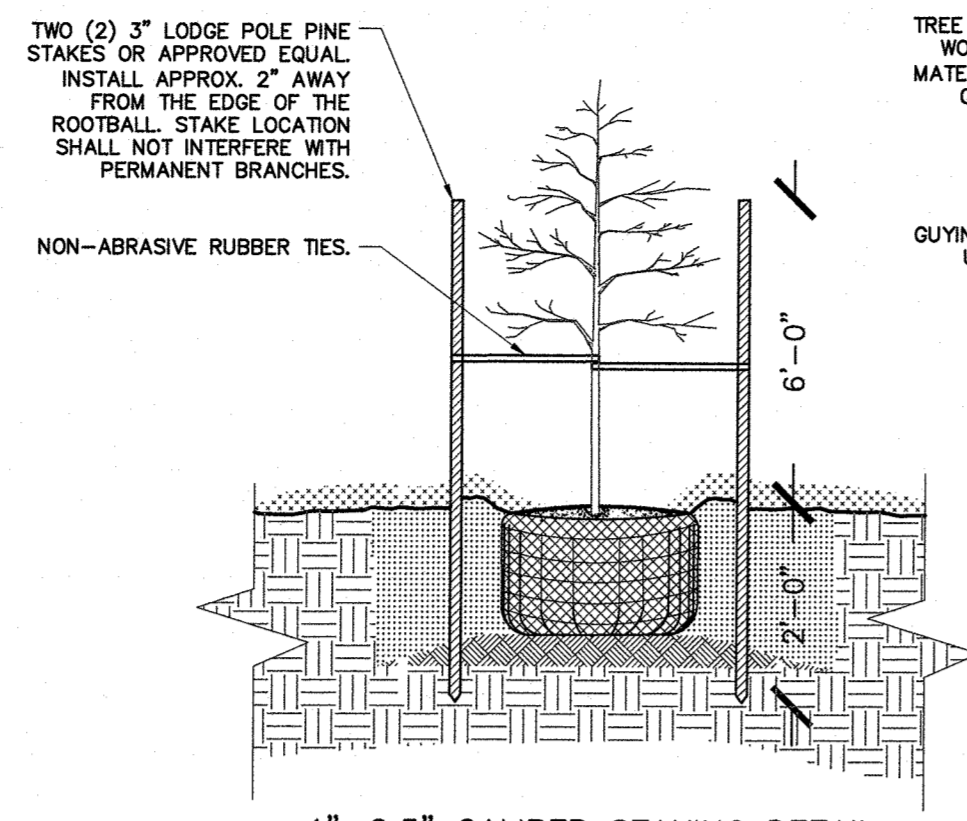


- INSURE THAT BASAL ROOTS OR TRUNK TAPER IS VISIBLE-DO NOT COVER WITH SOIL OR MULCH.
- PULL BACK BURLAP ON TRUNK AT UPPER 1/3 OF ROOTBALL. CLIP WIRE BASKETS IN 3-4 SECTIONS AND REMOVE STRING.
- ROUNDED SOIL BERM 4" HIGH X 8" WIDE ABOVE ROOTBALL SURFACE TO BE CONSTRUCTED AROUND ROOT BALL. BERM AND TO BEGIN AT ROOTBALL PERIPHERY.
- ROOTBALL BAB OR CONTAINER
- SHREDDED HARDWOOD MULCH 3" DEPTH, 1" MAX. DEPTH OVER ROOTBALL.
- NATIVE SOIL OR APPROVED IMPORTED BACKFILL.
- SCARIFY SIDES OF THE TREE PIT WITH RAKES OR TINES.
- BOTTOM OF ROOTBALL RESTS ON EXISTING OR RE-COMPACTED SOIL.
- UNDISTURBED EARTH.

TREE PLANTING DETAIL

NTS

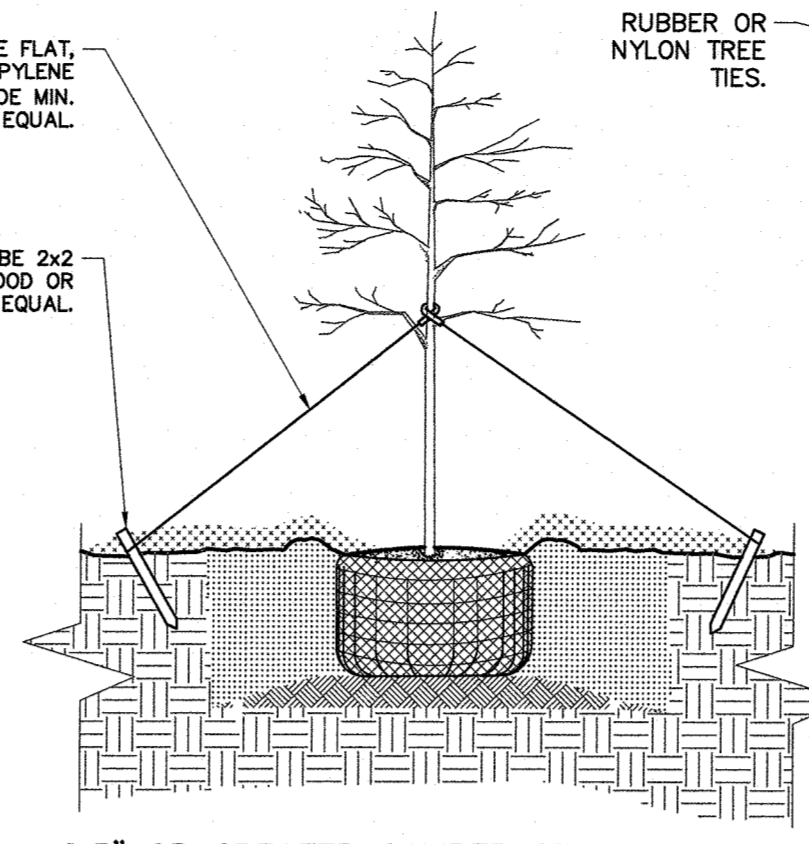
1
DET-1



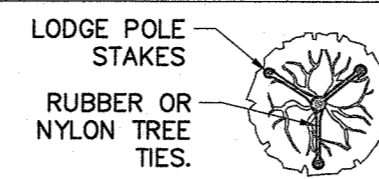
TREE STAKING DETAIL

NTS

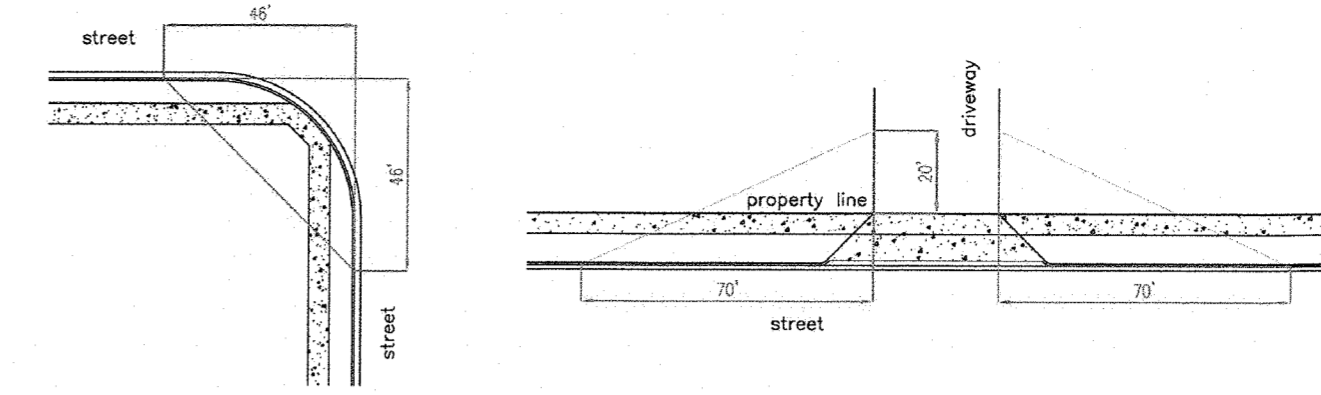
2
DET-1



2.5" OR GREATER CALIPER STAKING DETAIL



PLAN VIEW



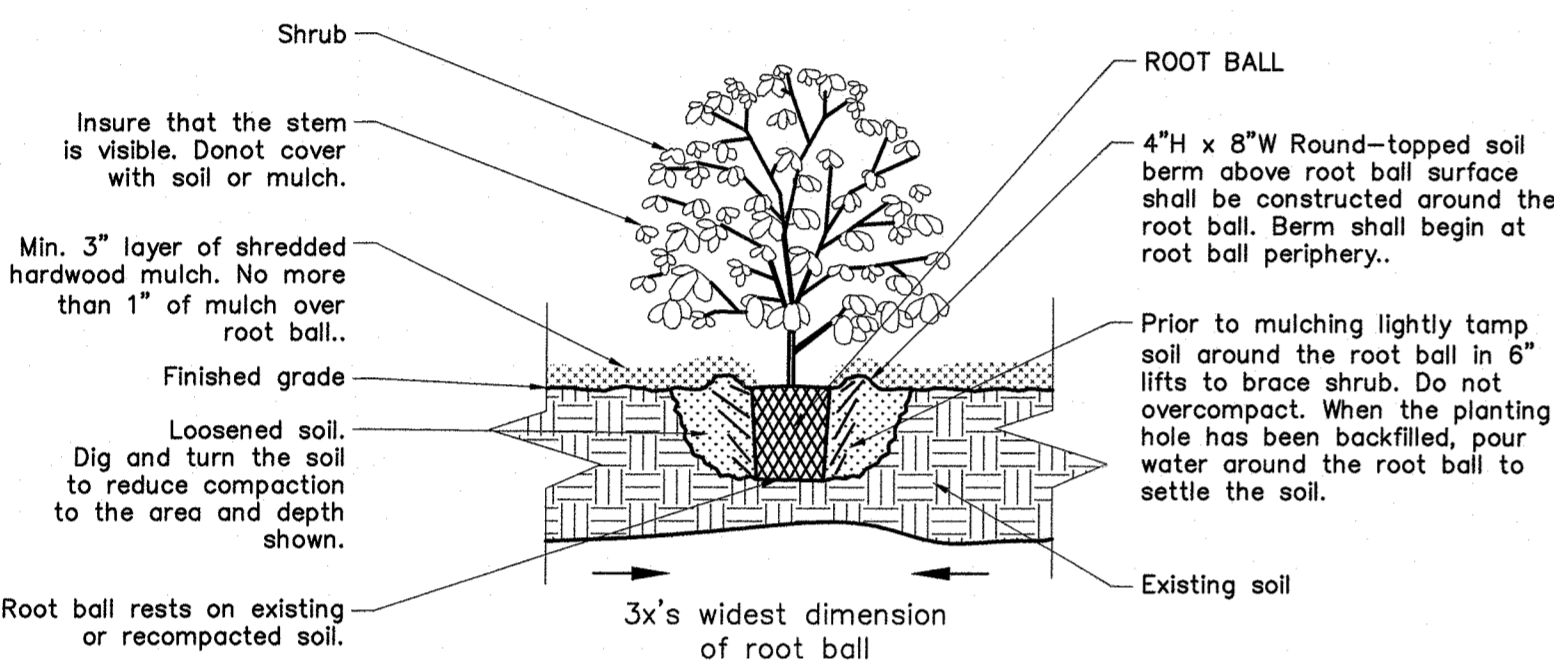
CITY OF WILMINGTON SIGHT DISTANCE TRIANGLES

SIGHT TRIANGLES

NTS

5

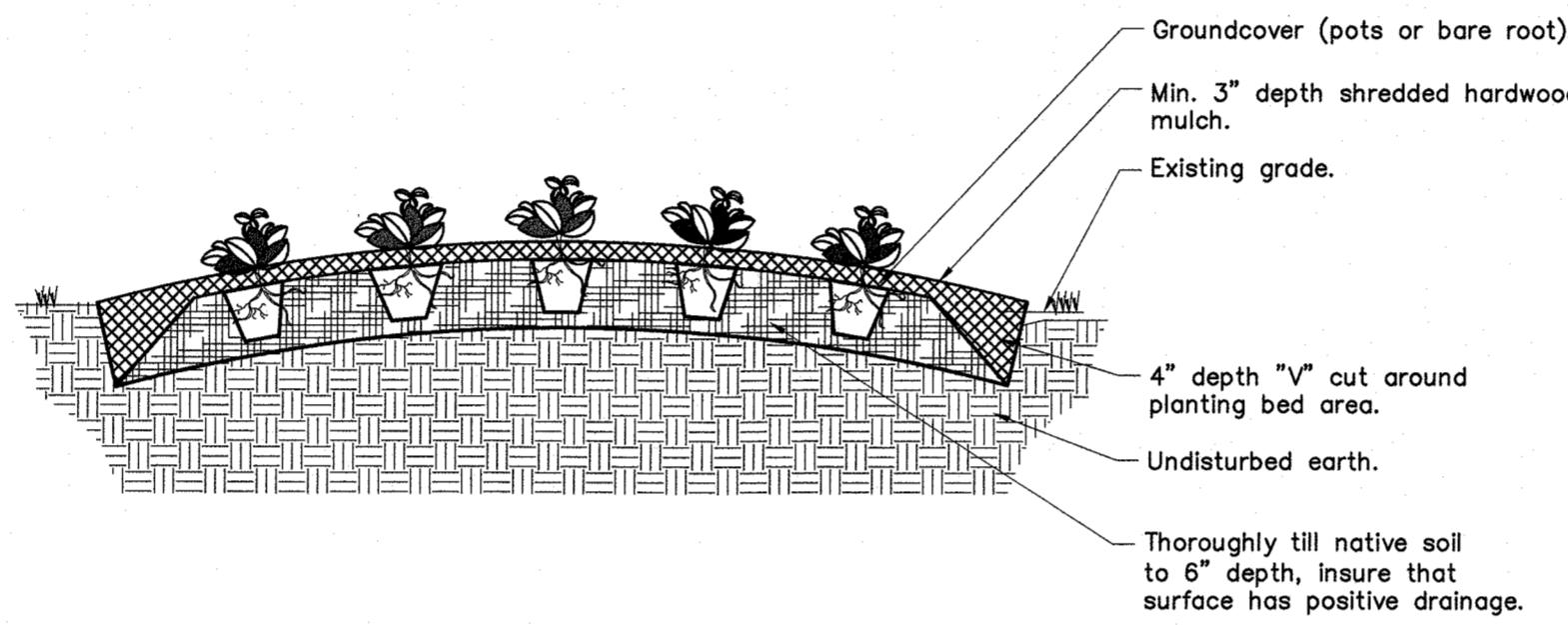
DET-1



SHRUB PLANTING DETAIL

NTS

3
DET-1

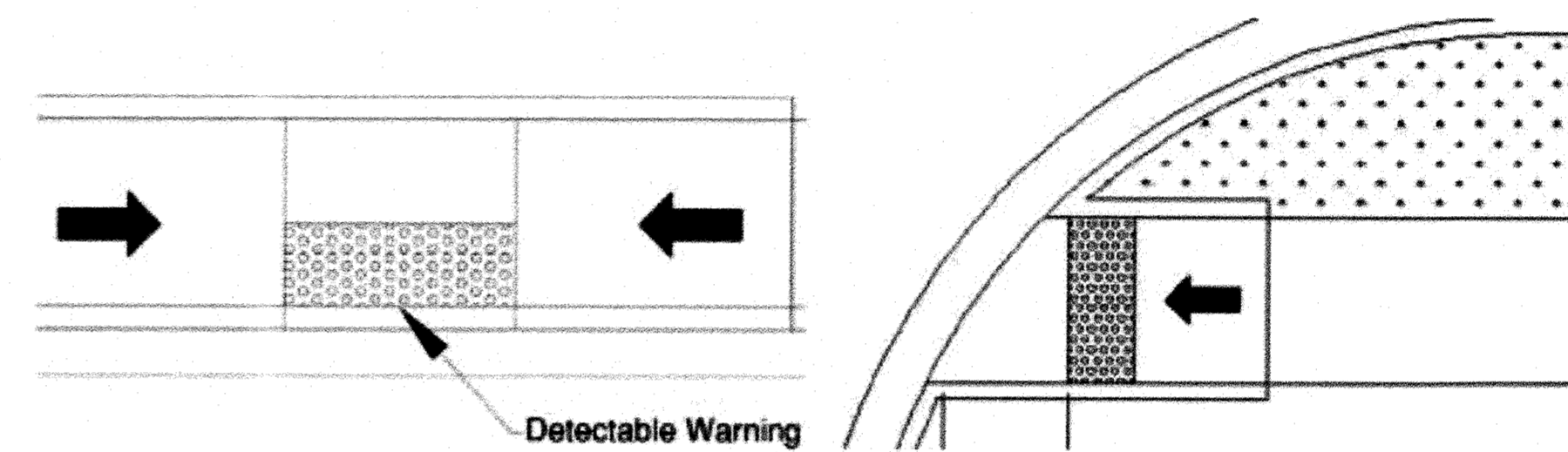


GROUNDCOVER PLANTING DETAIL

NTS

4
DET-1

Below not to scale images are for your reference only.

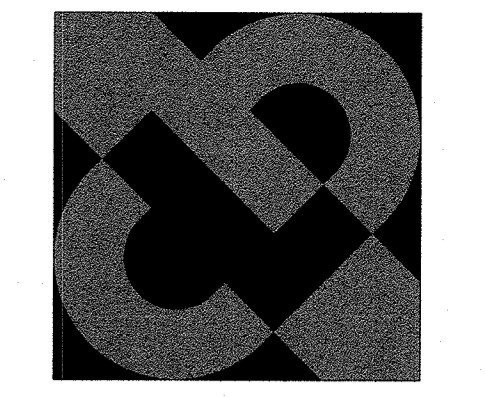


DETECTABLE WARNING DOMES

NTS

6

DET-1



Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0289
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

Landfall Realty, LLC
 500 Arboretum Drive

DETAILS

REV	DATE	DESCRIPTION	INIT
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

DEVELOPER
 LANDFALL REALTY LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

APPROVED:	FB	PROJECT:	140-08
CHECKED:	FB	SCALE:	NTS
DESIGNED:	NA	RELEASE:	TRC

SHEET
DET-01

ISSUED FOR AGENCY REVIEW ONLY

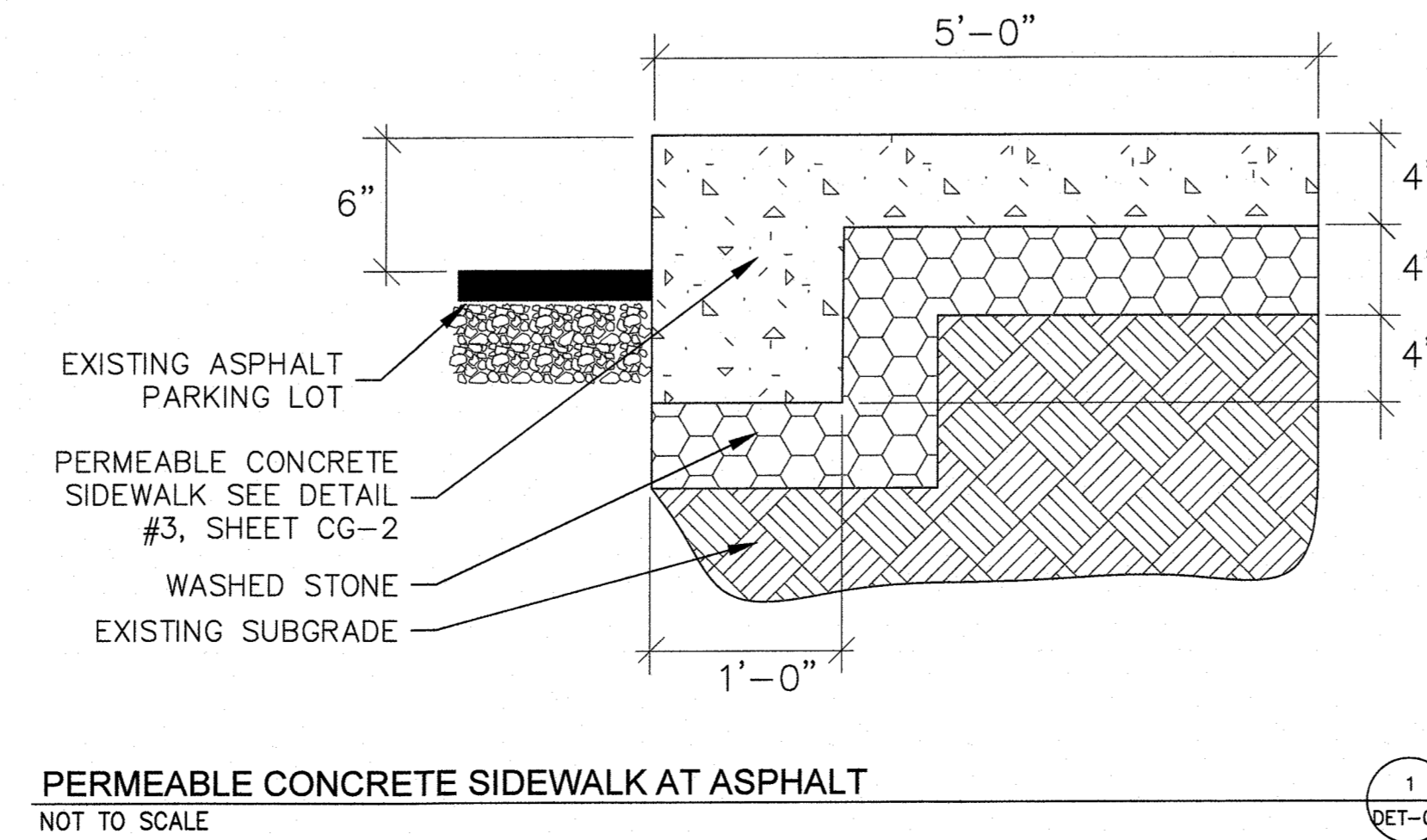
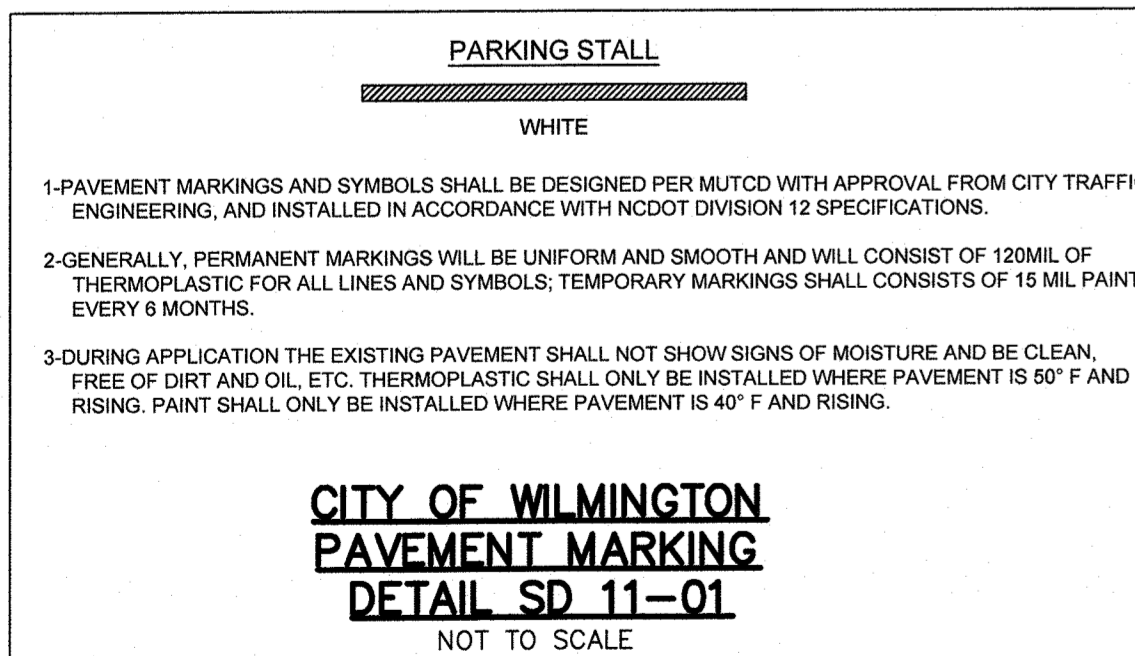
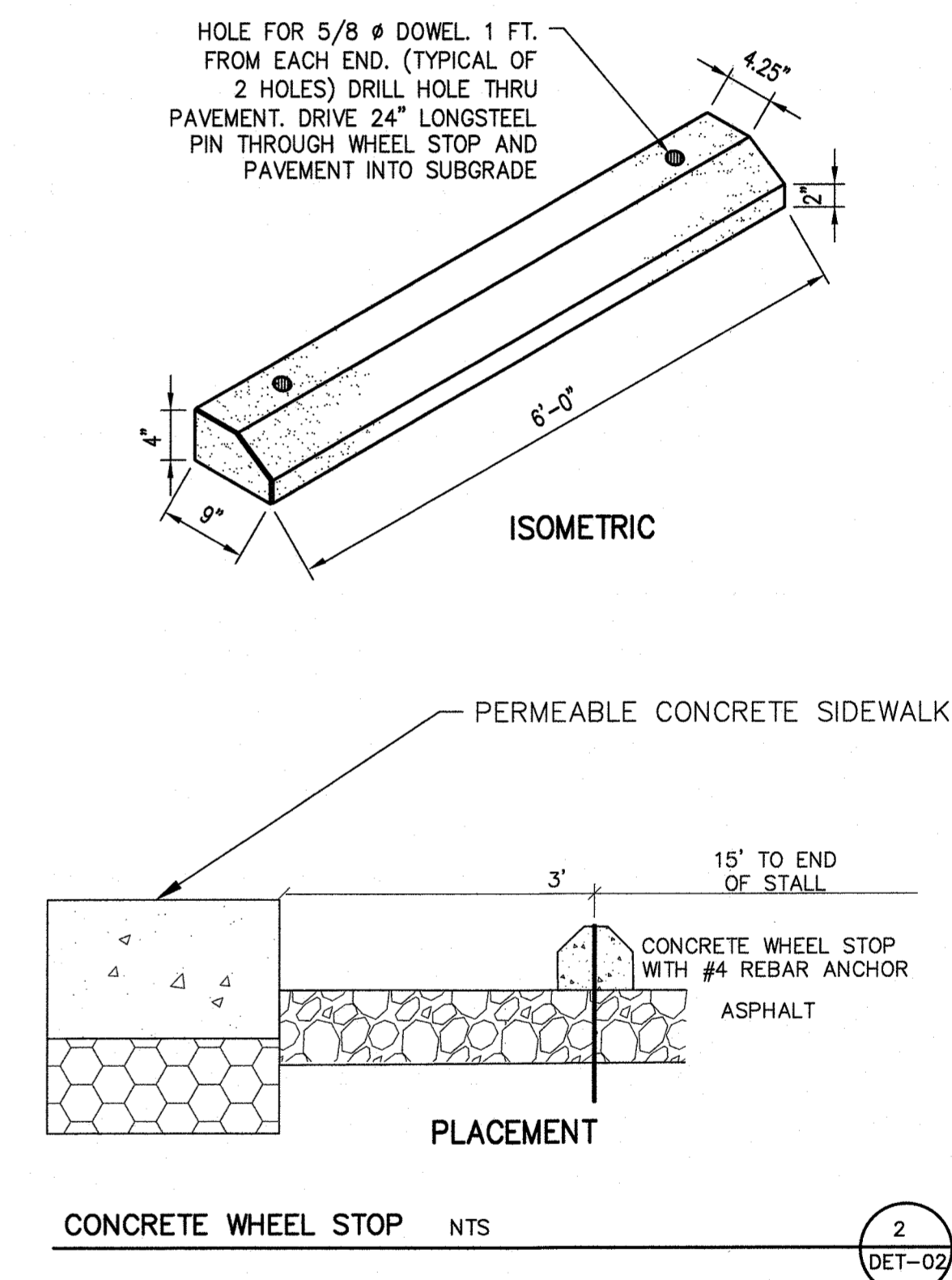
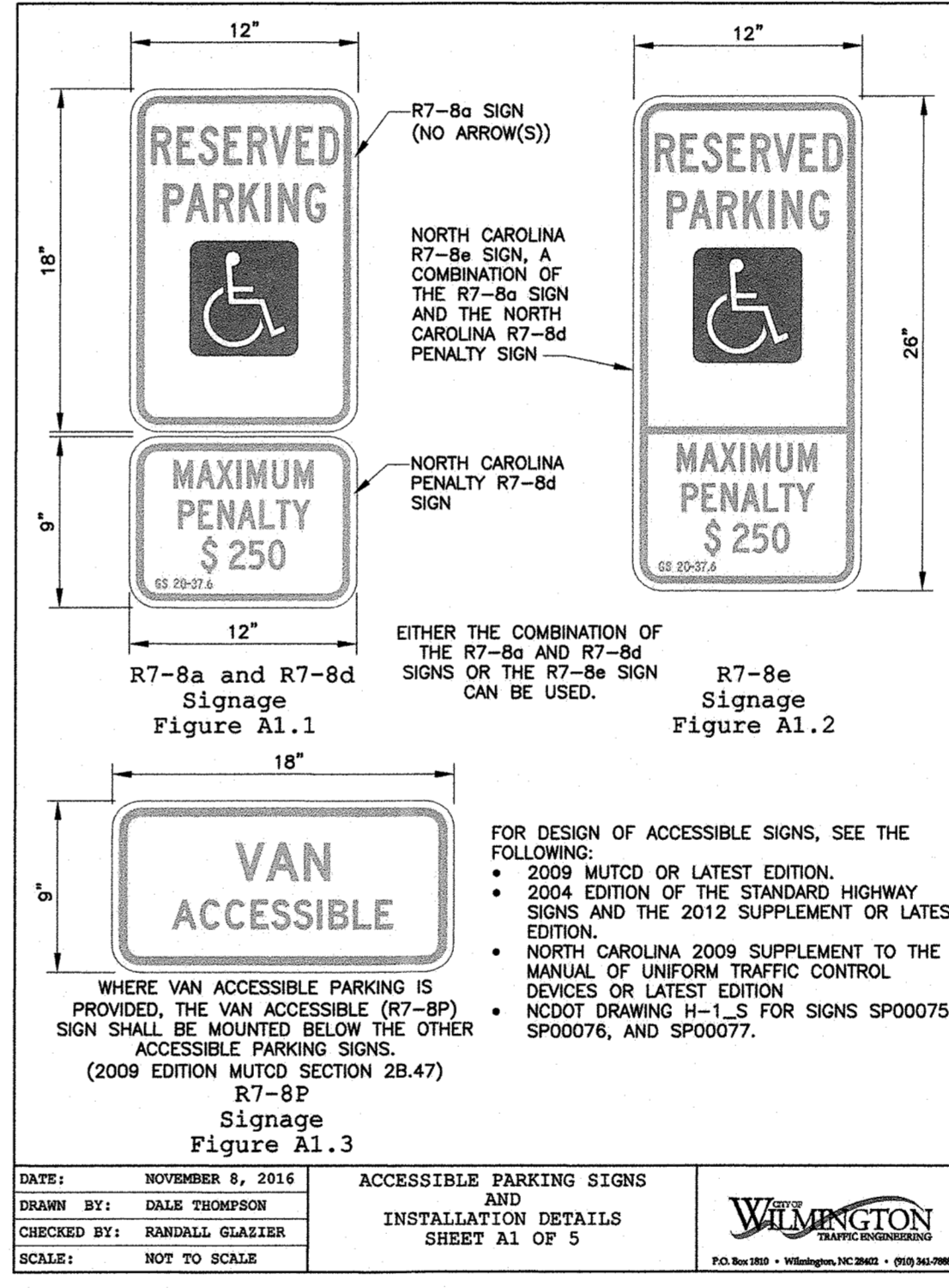
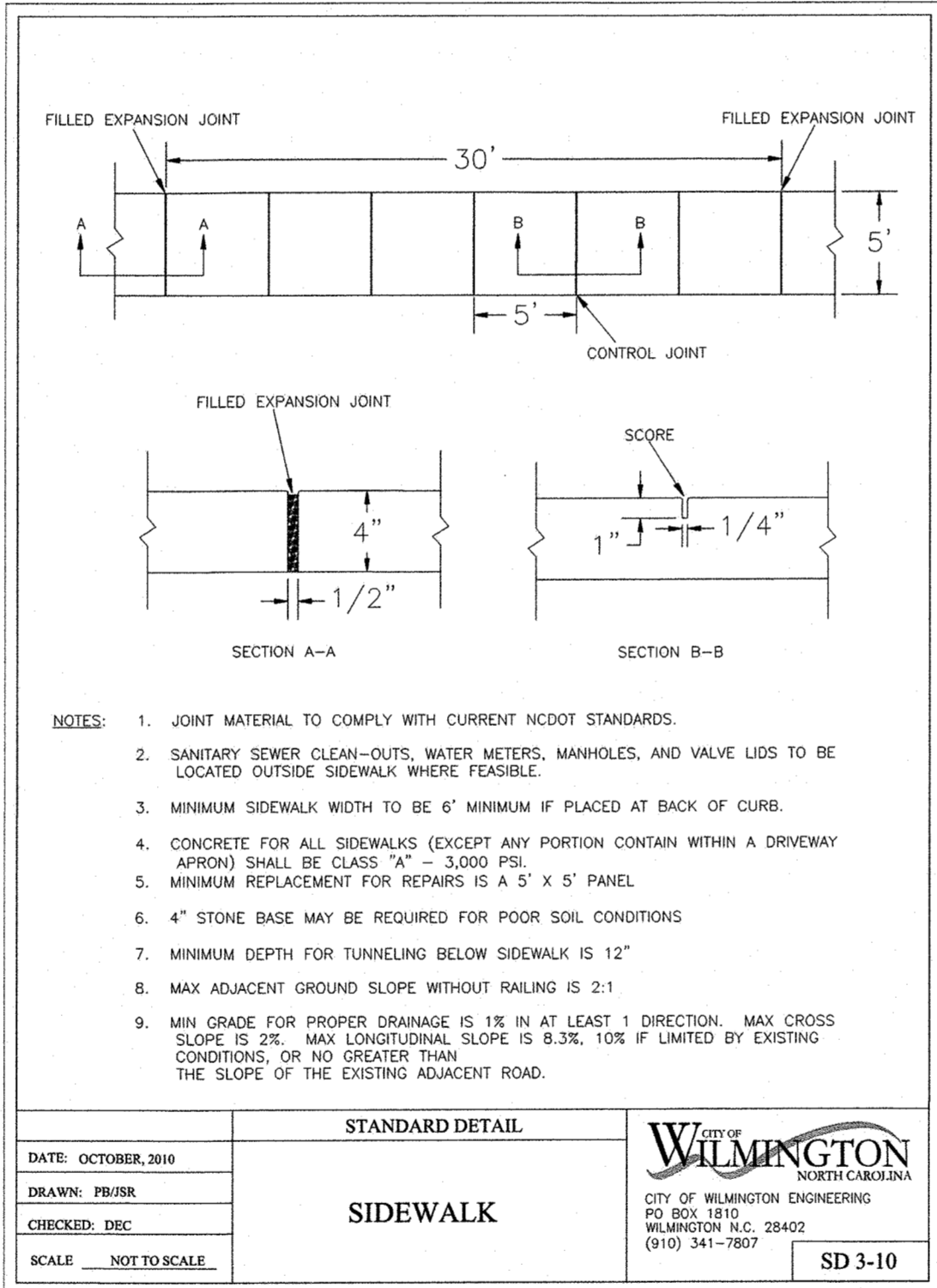
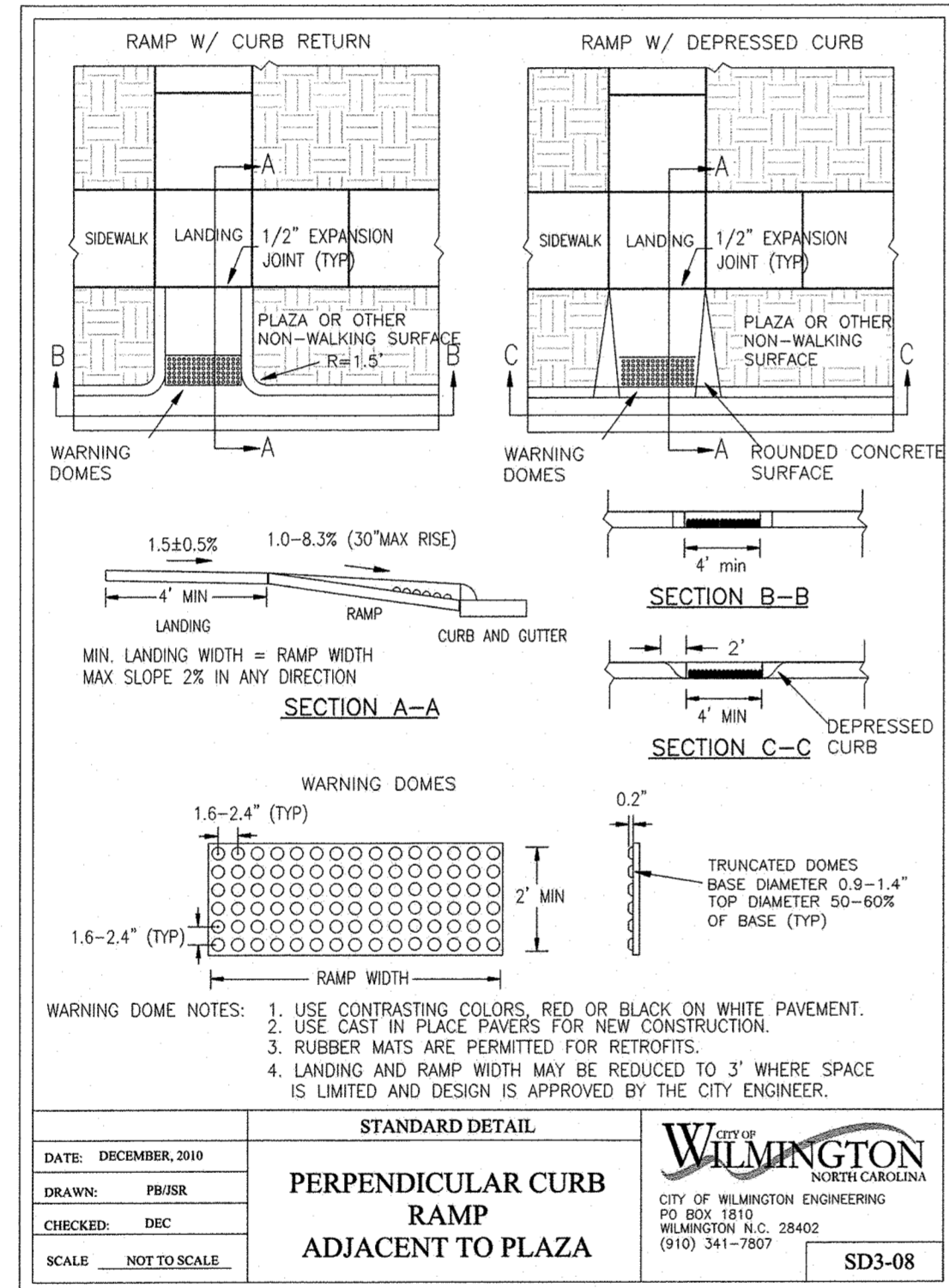
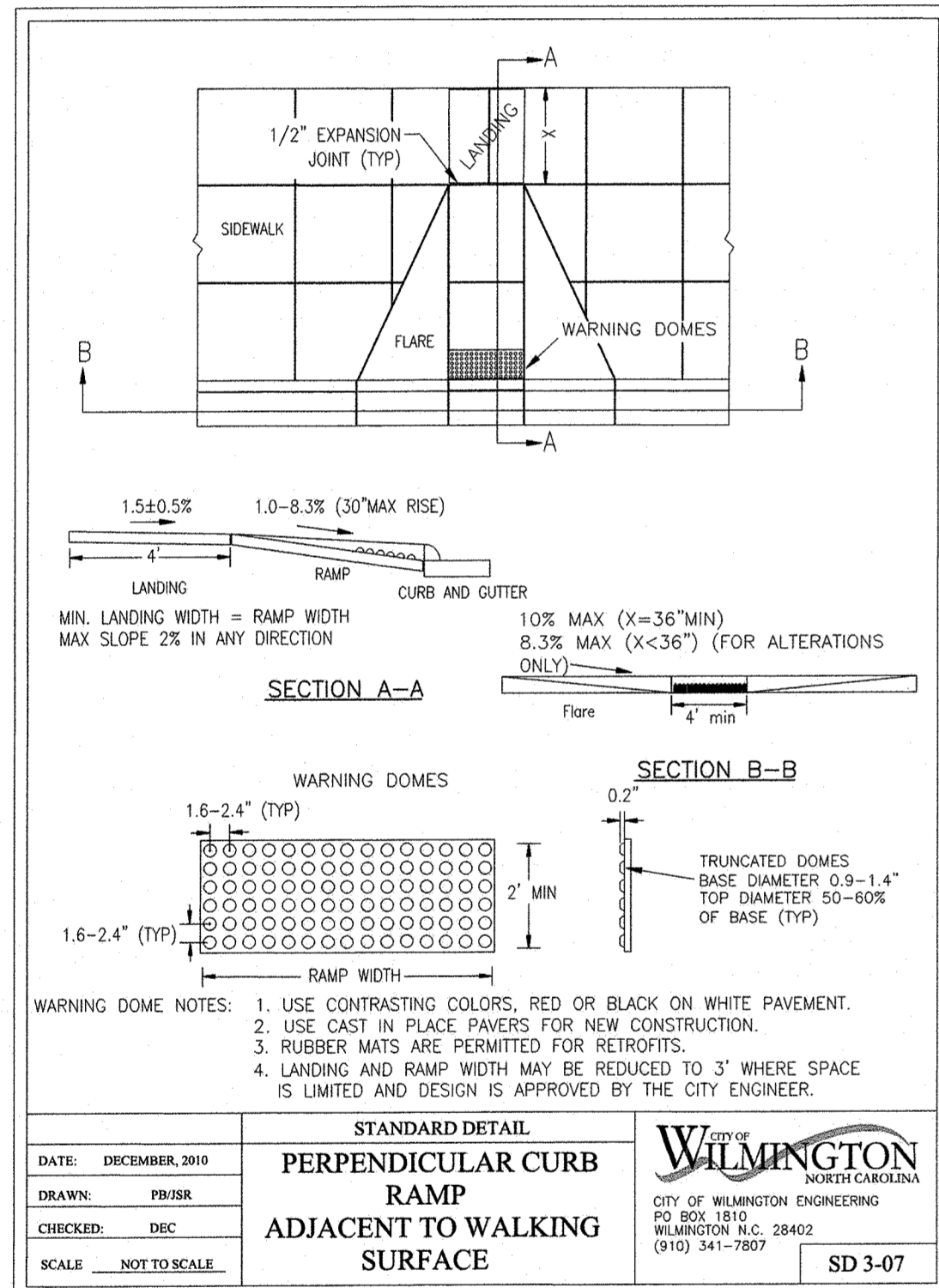
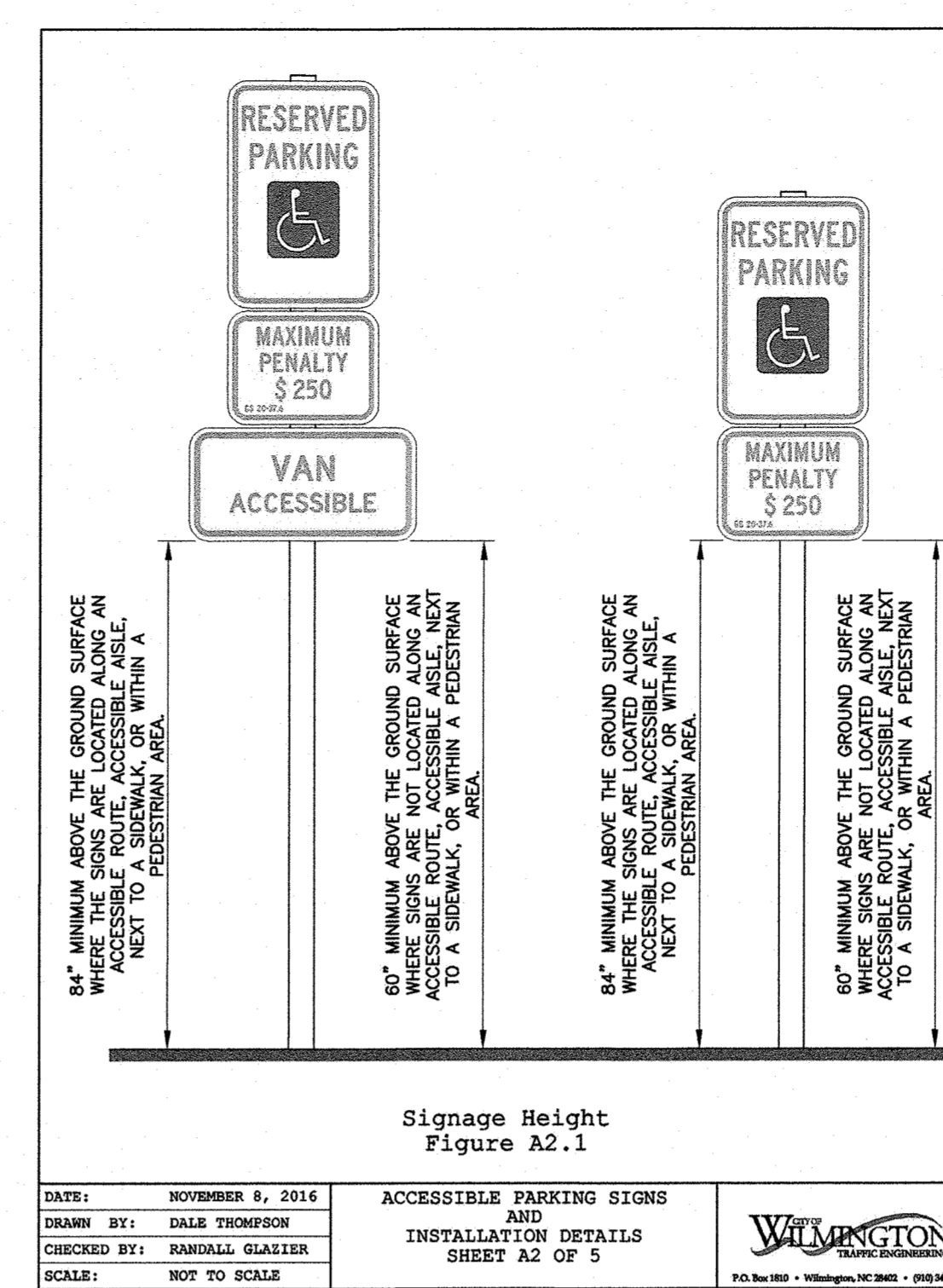
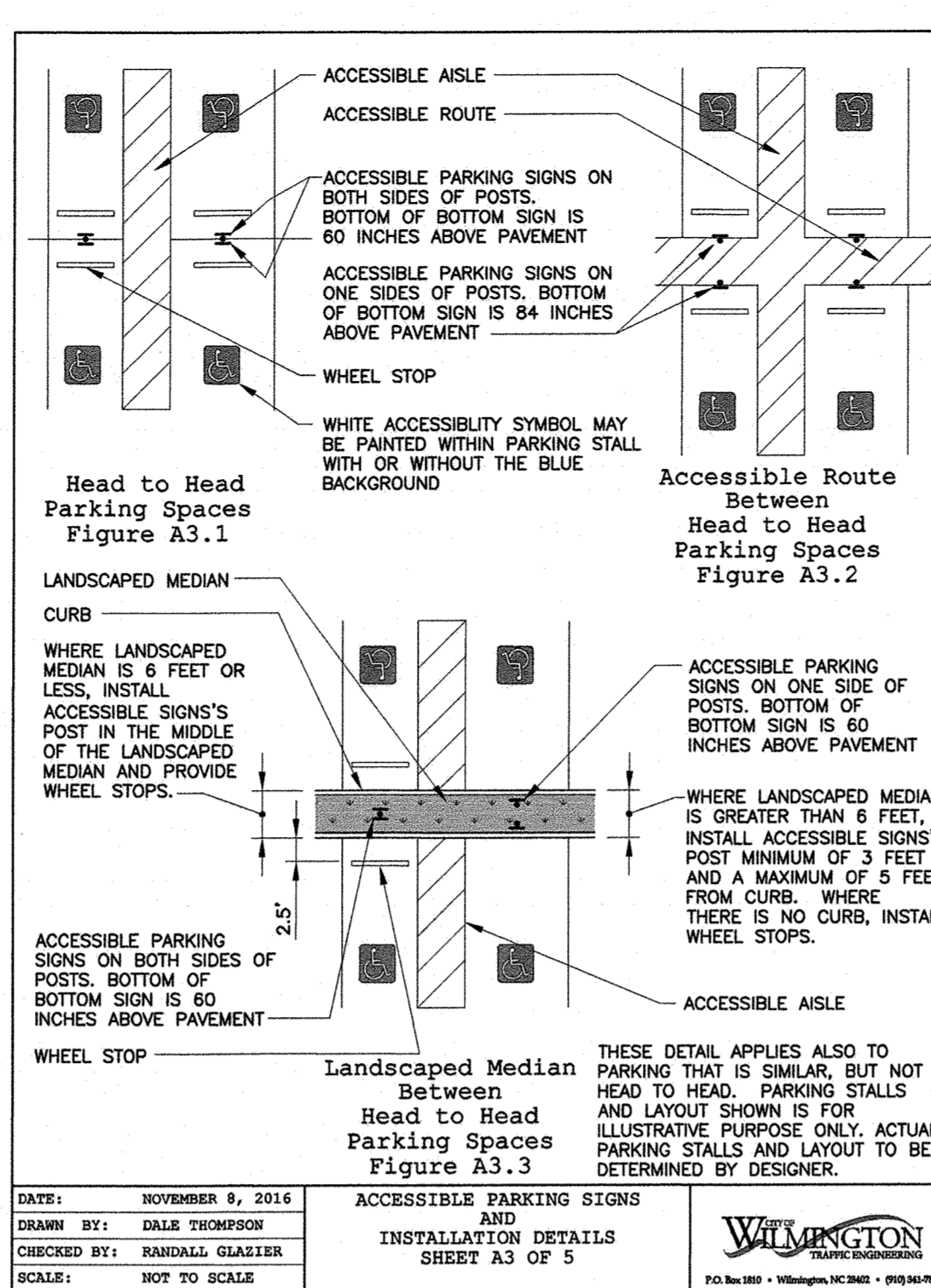
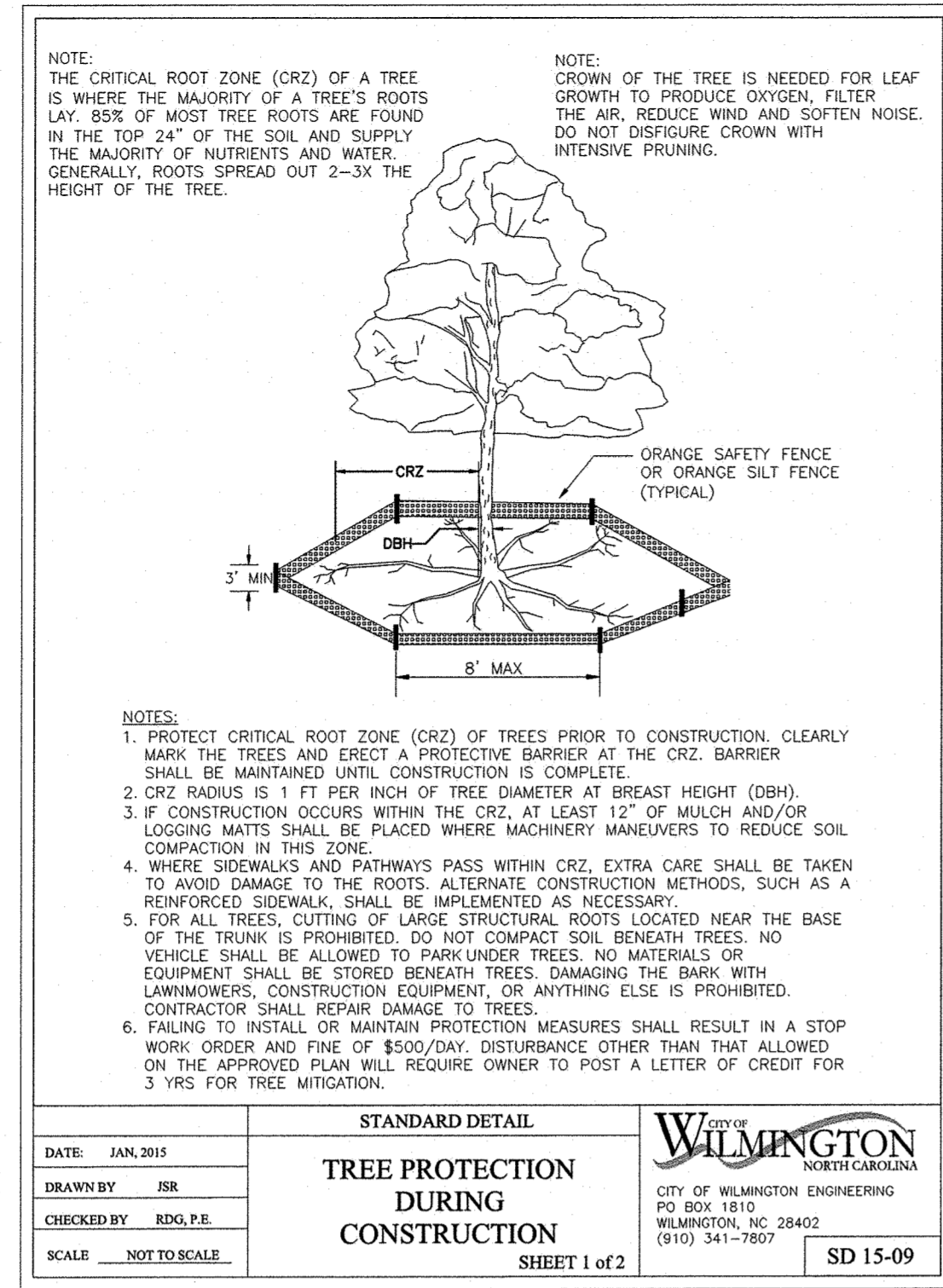
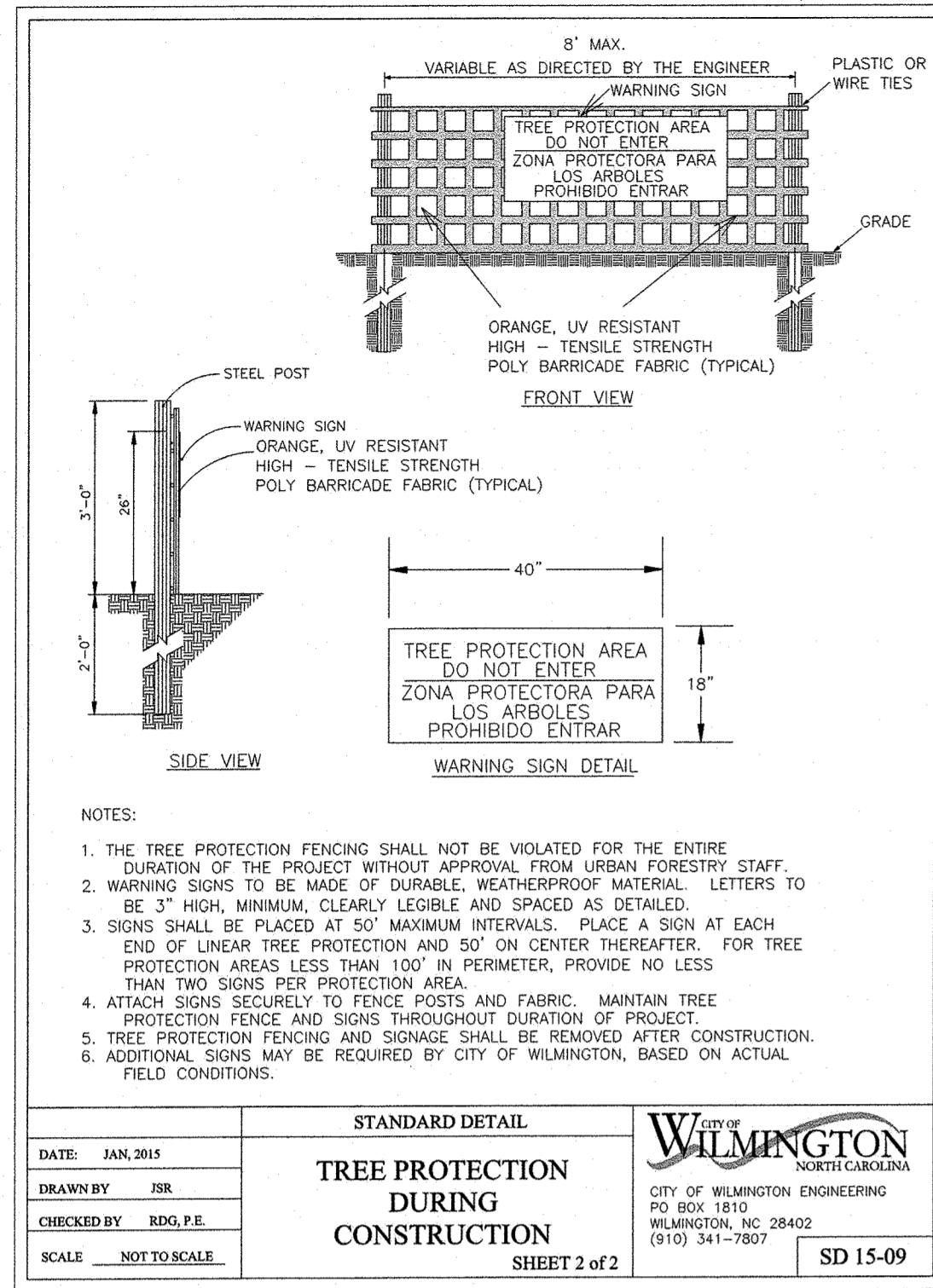
NOT RELEASED FOR CONSTRUCTION



For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 Approved Construction Plan
 Name _____ Date _____
 Planning *Nicole D Smith 6/20/19*
 Traffic *6/20/19*
 Fire *6/20/19*

WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *6/20/2019* Permit # *2019034*
 Signed: *Scott Bolton* for RAC



ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL

North Carolina 811
 www.nc811.org

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

WILMINGTON
 Approved Construction Plan

Name: _____ Date: _____

Planning: *Nick Smith 10/20/19*
 Traffic: *W Smith 10-20-19*
 Fire: *C. White 6/24/19*

City of **WILMINGTON**
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *6/20/2019* Permit # *2019034*
 Signed: *Tim Butler for RAC*

Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

Landfall Realty, LLC
 500 Arboretum Drive

DETAILS

REV	DATE	DESCRIPTION
C	4/22/19	UPDATE SIDEWALK DETAIL
B	1/30/19	REVISED TRC REVIEW
A	9/28/18	INITIAL TRC REVIEW
NA		NA
NA		NA
INIT		INIT

DEVELOPER
 LANDFALL REALTY LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

APPROVED: FB PROJECT: 140-08
 CHECKED: FB SCALE: NTS
 DESIGNED: NA RELEASE: TRC

SHEET
DET-02

LANDSCAPING CALCULATIONS

STREETYARD
 MINIMUM STREETYARD: 3,072 SF
 256 LF OF STREET FRONTAGE = 256*12 W/ MIN. WIDTH OF 8' AND MAX. WIDTH OF 18'

TREES
 REQUIRED: 1 CANOPY TREE/600SF = 6 TREES
 PROPOSED: 7 EXISTING + 0 NEW = 7 TREES
SHRUBS
 REQUIRED: 6 SHRUBS/600SF = 31 SHRUBS
 PROPOSED: = 31 SHRUBS

SETBACK STANDARDS
 FRONT SETBACK 30 FT
 REAR SETBACK 25 FT
 SIDE CORNER SETBACK 15 FT

BUFFER YARD STANDARDS
 MINIMUM REAR BUFFER YARD 20 FT

PLANTED BUFFER W/ 100% OPACITY FROM GROUND TO 6' SHRUBS MIN. 3' AT PLANTING

PLANTING INFORMATION
 NO PARKING ON SITE - NO NEW LANDSCAPE ISLANDS REQUIRED

EXISTING LANDSCAPING (OFFSITE PARKING LOT):
 REQUIRED: 8% OF PARKING AREA = 0.08 * 29,473 SF = 2,358 SF
 PROVIDED: 5,565 SF

FOUNDATION PLANTING:
 EAST (0.12 * SF WALL AREA) 195 SF
 0.12 * 57.67 * 28.17" = 195 SF

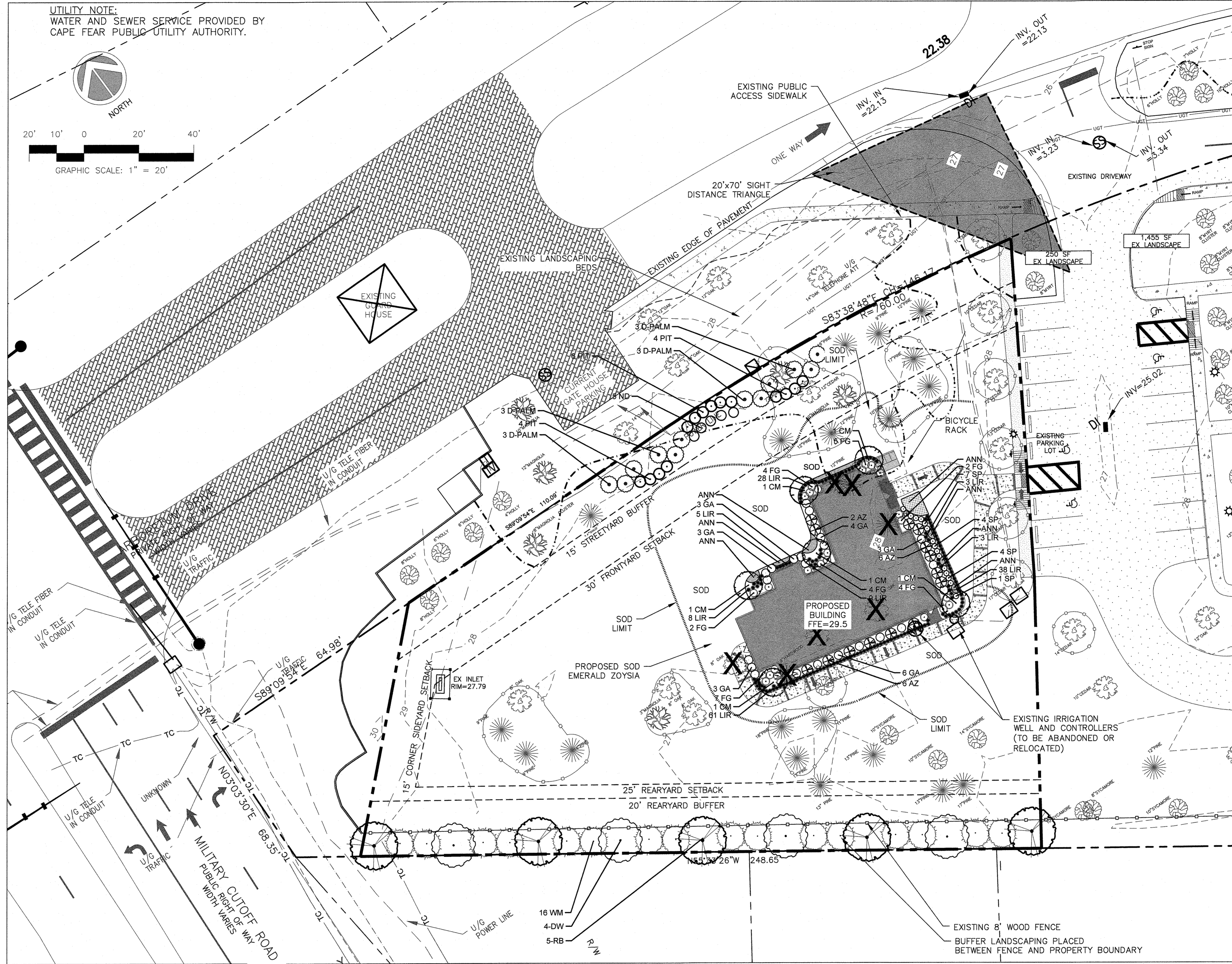
* ALL TREES PROPOSED FOR REMOVAL ARE WITHIN THE AREA OF DISTURBANCE NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS AND THEREFORE DO NOT REQUIRE MITIGATION

TOTAL AREA OF DISTURBANCE

15 TRESS/ DISTURBED ACRE, 2" DBH OR GREATER, MUST BE RETAINED OR PLANTED ON THE DISTURBED PORTION OF THE SITE.
 REQUIRED TREES = 7.5
 RETAINED TREES = 8

LANDSCAPE NOTES

- ALL LANDSCAPE MATERIAL MUST BE INSTALLED PRIOR TO FINAL BUILDING INSPECTION.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE LOCATION AND/OR RELOCATION OF EXISTING UTILITIES IN COORDINATION WITH THE APPROPRIATE UTILITY AGENCY OR COMPANY.
- CONTRACTOR SHALL NOT SUBSTITUTE FOR ANY OF THE PLANT MATERIAL THAT IS SPECIFIED WITHOUT PRIOR APPROVAL OF THE LANDSCAPE ARCHITECT.
- VERIFICATION OF TOTAL QUANTITIES AS SHOWN IN THE PLANT LIST SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR.
- MULCH UNDER ALL PROPOSED TREES AND SHRUBS WITH SHREDDED HARDWOOD AT A 3"-4" DEPTH OR APPROVED EQUAL.
- PLANT SIZES INDICATED SPECIFY MINIMUM ALLOWABLE SIZES AT PLANTING. WHERE CONTAINER AND HT. SIZES ARE INDICATED FOR A SINGLE SPECIES, BOTH SIZE REQUIREMENTS MUST BE MET.
- THERE SHALL BE AT LEAST A 3 FT. SEPARATION BETWEEN LANDSCAPED AREAS AND PARKING AREAS TO ALLOW VEHICLE OVERHANG WHEN PARKING BLOCKS ARE NOT USED.
- ALL PLANTINGS USED TO SCREEN THE DRIVES AND PARKING AREAS FROM ADJOINING ROADWAYS SHALL BE A MINIMUM OF 24" HIGH AT TIME OF PLANTING.
- ALL OTHER AREAS NOT BEING MULCHED TO BE SEEDED PER SEEDING SCHEDULE INCLUDED AS PART OF THE S&E PLANS.
- THE OWNERS OF THE PROPERTY AND THEIR AGENTS, HEIRS, OR ASSIGNS SHALL BE RESPONSIBLE FOR THE INSTALLATION, PRESERVATION AND MAINTENANCE OF ALL PLANTING AND PHYSICAL FEATURES SHOWN ON THIS PLAN. THE OWNERS SHALL BE RESPONSIBLE FOR ANNUAL MAINTENANCE OF THE VEGETATION TO INCLUDE BUT NOT BE LIMITED TO:
 - FERTILIZATION**
TREES SHRUBS AND GRASSED AREAS
BROADCAST A SLOW RELEASE FERTILIZER OVER THE MULCHED BEDS AT THE RECOMMENDED RATES AS SHOWN ON THE BAGS, ONCE MID-FEBRUARY AND ONCE MID-SEPTEMBER. THOROUGH WATERING IS REQUIRED UPON COMPLETION.
 - PRUNING WITHIN LIMITS**
PRUNING WHEN NECESSARY, WILL BE DONE TO MAINTAIN THEIR NORMAL GROWTH PATTERN AND TO REMOVE DEAD OR DISEASED PLANT MATERIAL. THERE SHALL BE NO TOPPING OF TREES.
 - PEST CONTROL (OPTIONAL)**
WEED CONTROL TO BE PROVIDED EARLY FEBRUARY, APRIL, JUNE, AUGUST AND OCTOBER IN THE SHRUB/TREE BEDS AND IN THE LAWN AREAS. INSECT DAMAGE SHALL BE TREATED WHEN NECESSARY TO PREVENT DAMAGE TO VEGETATION.
 - MULCHING**
ALL AREAS AROUND THE BUILDING FOUNDATION AND SHRUB/TREE BEDS SHALL BE RE-MULCHED SO THAT THEY CONTAIN A MIN. DEPTH OF TWO INCHES AND A MAXIMUM DEPTH OF THREE INCHES. MULCH USED SHALL EQUAL WHICH WAS SUPPLIED DURING THE INSTALLATION OF THE PLANTS.
 - MOWING**
MOWING SHALL BE DONE AS NECESSARY TO KEEP GRASS AT THE APPROPRIATE HEIGHT TO INSURE A HEALTHY GROWTH PATTERN.
 - PROTECTION OF ROOT ZONES**
TREE/SHRUB ROOT ZONES SHOULD BE PROTECTED FROM FUTURE CONSTRUCTION AND EQUIPMENT AS MUCH AS POSSIBLE TO AVOID DAMAGE OR COMPACTION TO THE ROOT AREAS.
- WATERING SCHEDULE FOR IRRIGATION SYSTEM**
MAINTENANCE SHALL INCLUDE A THOROUGH INITIAL WATERING WITH WEEKLY WATERINGS THEREAFTER FOR THE FIRST 30 DAYS. WATERINGS THEREAFTER BE ON AN AS NEEDED SCHEDULE PER LOCAL CONDITIONS.
- STAKE AT WIRE REMOVAL**
AT THE END OF THE FIRST YEAR ALL PLANT STAKING AND GUYING SYSTEMS SHALL BE REMOVED.
- PROTECTED TREE REGULATION**
PRIOR TO ANY CLEARING, GRADING OR CONSTRUCTION ACTIVITY, TREE PROTECTION FENCING WILL BE INSTALLED AROUND PROTECTED TREES OR GROVES OF TREES AND NO CONSTRUCTION WORKERS, TOOLS, MATERIALS OR VEHICLES ARE PERMITTED WITHIN THE TREE PROTECTION FENCING.



PLANT LIST

BOTANICAL NAME	COMMON NAME	WATER ZONE	HEIGHT	REMARKS	QUANTITY	SYMBOLS	INITIAL PLANTING HEIGHT/ WIDTH
LARGE SHADE TREES							
SMALL SHADE TREES							
LAGERSTROEMIA INDICA	CRAPPE MYRTLE	1,2,3 - XERIC	8-10' MIN		5	CM	1' 1.5'
EASTERN REDBUD	CERCIS CANADENSIS	1,2,3 - NATIVE	8-10' MIN		5	RB	2' 1.5'
FLOWERING DOGWOOD	CORNUS FLORIDA	1,2,3 - NATIVE	8-10' MIN		4	DW	2' 2'
SHRUBS							
MYRTICA CERIFERA	WAX MYRTLE	1,2,3 - XERIC/NATIVE			7 GAL	WM	3' MIN.
GARDENIA JASMINOIDES 'RADICANS'	MINIATURE GARDENIA				3 GAL	GA	1' 1.5'
PENNISETUM ALOPECUROIDES 'CASSIANS CHOICE'	CASSIAN FOUNTAIN GRASS	1,2,3			3 GAL	FG	2' 1.5'
RHODODENDRON 'PINK PEARL'	'PINK PEARL' AZALEA				7 GAL	AZ	2' 2'
PITTIOSPORUM TOBIRA 'VARIEGATED'	VARIEGATED PITTIOSPORUM	1,2,3 - XERIC			3 GAL	PIT	1' MIN.
DWARF PALMETTO	SABAL MINOR	1,2,3 - NATIVE			3 GAL	D-PALM	1' MIN.
DWARF NANDINA	NANDINA DOMESTICA	1,2,3			3 GAL	ND	1' MIN.
GROUND COVER							
LIRIOPE MUSCARI	LILY TURF	1,2,3 - XERIC	18" OC	1 QT.	167	LIR	8"
SOD - ZOYSIA 'EMERALD'	EMERALD ZOYSIA						

XERIC LANDSCAPING FOR EXCEPTIONAL DESIGN
 5 POINTS NEEDED FOR EXCEPTIONAL DESIGN
 25% OF LANDSCAPE XERIC = 5 POINTS
 TOTAL LANDSCAPE SHRUBS/TREES = 126
 TOTAL XERIC SHRUBS/TREES = 58
 % OF LANDSCAPE XERIC = 46%
 * XERIC DETERMINATION MADE FROM CITY OF WILMINGTON LID GUIDANCE MANUAL

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
 North Carolina 811
 www.nc811.org

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

City of WILMINGTON
 Approved Construction Plan

Name: _____ Date: _____

Planning: *Nicole Smith 6/20/19*
 Traffic: *6/20/19*
 Fire: *6/24/19*

City of WILMINGTON
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *6/20/2019* Permit #: *2019034*
 Signed: *Trent Bolin for RAC*

Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com

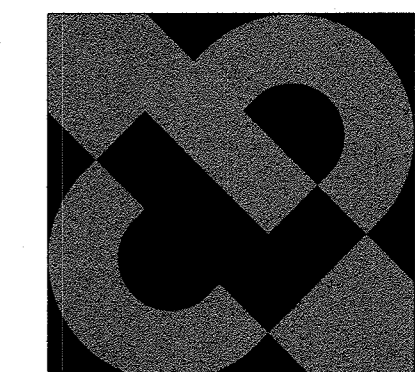
Landfall Realty, LLC
 500 Arboretum Drive
LANDSCAPE PLAN

REV	DATE	DESCRIPTION
B	1/30/19	REVISED TRC REVIEW
A	9/28/18	INITIAL TRC REVIEW
NA		NA
INIT		INIT

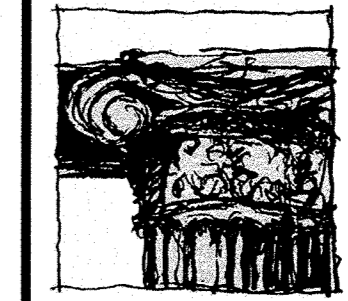
DEVELOPER
 LANDFALL REALTY LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

APPROVED: FB PROJECT: 140-08
 CHECKED: FB SCALE: 1"=20'
 DESIGNED: NA RELEASE: TRC

SHEET
LA-01



Coastal Land Design, PLLC
 Civil Engineering / Landscape Architecture
 Land Planning / Construction Management
 NCBELS Firm License P-0369
 P.O. Box 1172 Phone: 910-254-9333
 Wilmington, NC 28402 Fax: 910-254-0502
 www.cldeng.com



Lisle Architecture & Design, Inc.
 614 Market Street
 Wilmington, NC 28401
 (910) 763-6033 (o)
 (910) 763-4517 (f)
 323 W. Morgan St. Suite 100
 Raleigh, NC 27601
 (919) 980-0283 (o)
 www.LisleArchitecture.com

Landfall Realty, LLC
 500 Arboretum Drive
ARCHITECTURAL ELEVATION

REV	DATE	DESCRIPTION	INIT
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

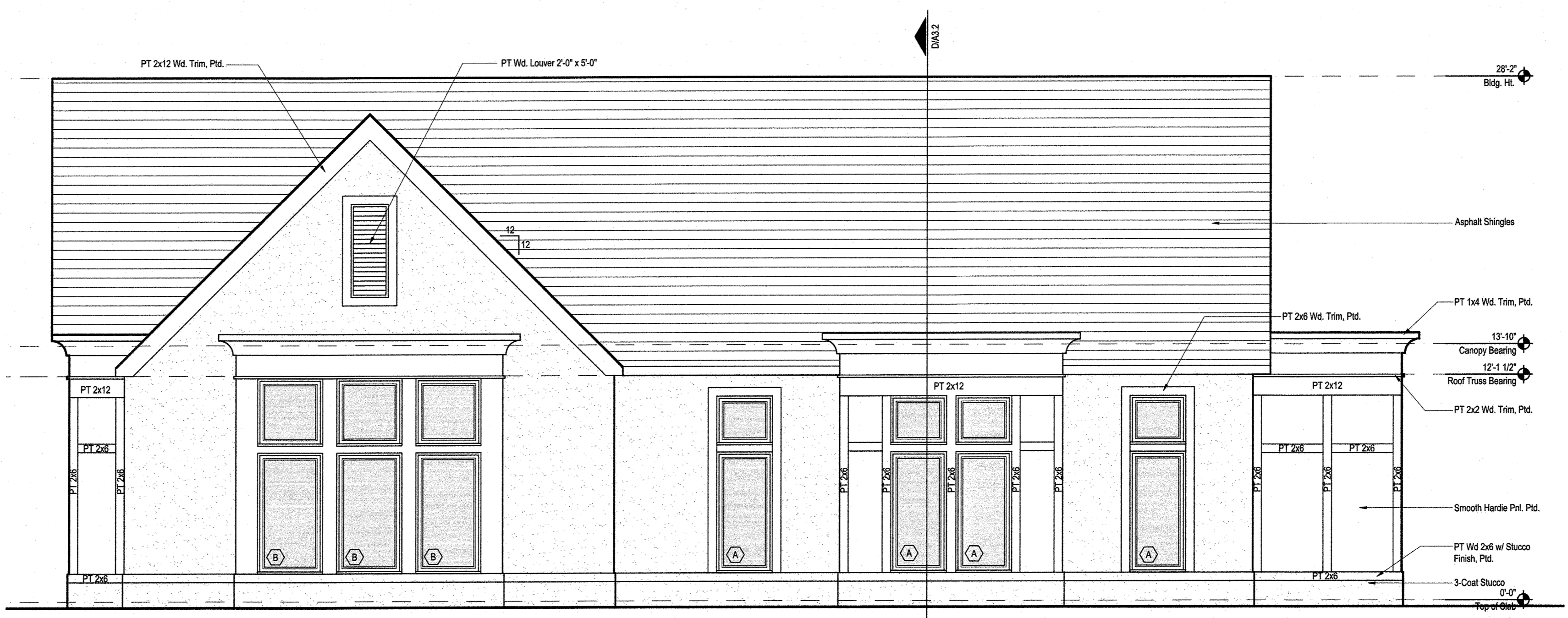
DEVELOPER
 LANDFALL REALTY LLC
 1720 DRYSDALE DRIVE
 WILMINGTON, NC 28405

APPROVED:	PROJECT:	140-08
CHECKED:	SCALE:	NTS
DESIGNED:	RELEASE:	TRC

SHEET
A-2.1



North Elevation A
 1/4"



East Elevation A
 1/4"

MATERIAL SCHEDULE			
LABEL	MANUFACTURER	MATERIAL	COLOR
TPO ROOFING	GAF	EVERGUARD MECHANICALLY ATTACHED - 45 MIL	WHITE
ASPHALT SHINGLES	GAF	CAMELOT	ANTIQUUE SLATE
STUCCO		3-COAT STUCCO FINISH OVER METAL LATH - PAINTED	
SIDING	JAMES HARDIE	SMOOTH PANEL SIDING	TBS
TRIM		PT WOOD TRIM AS INDICATED - PAINTED/ STUCCO	

ISSUED FOR AGENCY REVIEW ONLY

NOT RELEASED FOR CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
 www.nc811.org

For each open utility out of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

Approved Construction Plan
 Name _____ Date _____
 Planning *Nicole Blomth 6-20-19*
 Traffic *W. G. Smith 8-20-19*
 Fire *C. Walker 4/29/19*

CITY OF WILMINGTON
 NORTH CAROLINA
 Public Services • Engineering Division
 APPROVED STORMWATER MANAGEMENT PLAN
 Date: *6/20/2019* Permit # *2019034*
 Signed: *Timothy Butler* for RAC

THIS DRAWING IS THE LEGAL PROPERTY OF LISLE ARCHITECTURE AND DESIGN, INC. AND IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE ARCHITECT. COPYRIGHT 2018

LANDFALL REALTY
500 ARBORETUM DR.
WILMINGTON, NC 28405

NO	REV./SUB	DATE
1	OWNER REV.	01.15.17
2	LANDFALL COMMIT	04.03.17
3	CD SET	05.12.17

SHEET TITLE
 Exterior Elevations
SHEET NUMBER
A2.1

DATE: 07.05.16

PROJECT NO.: 16114

ISSUED FOR AGENCY
REVIEW ONLY

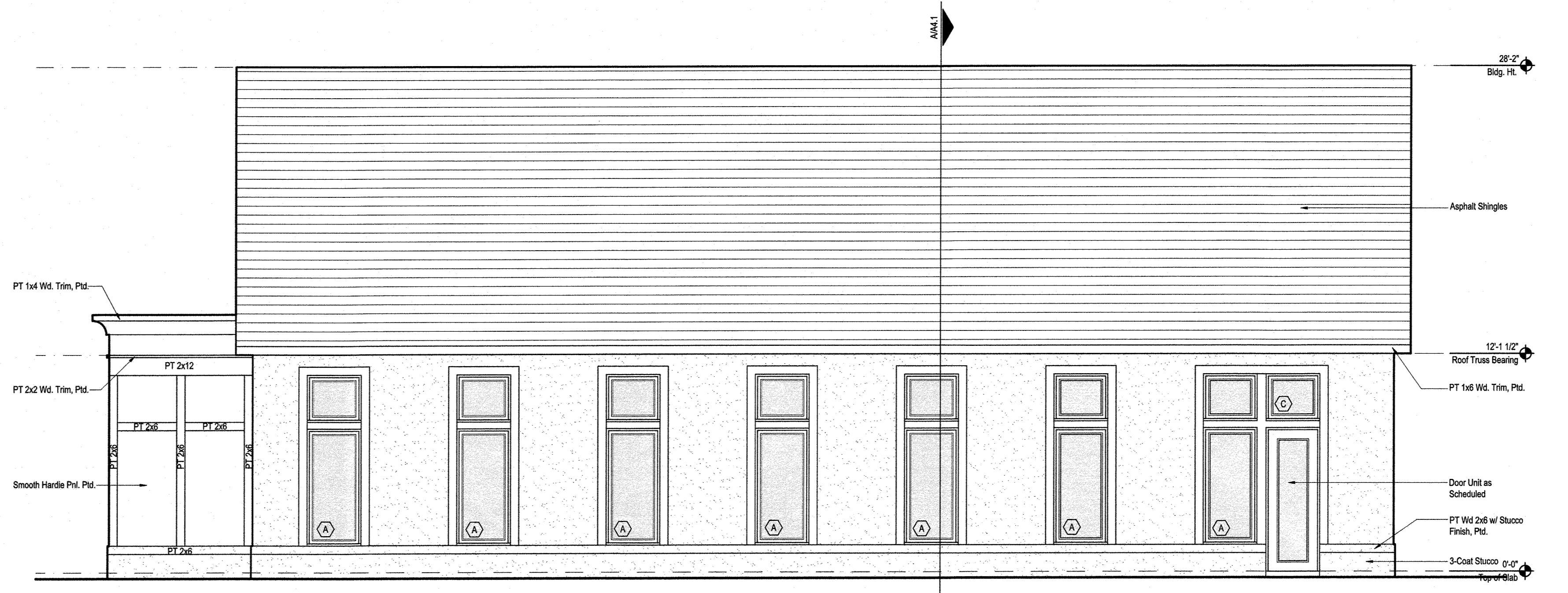
NOT RELEASED FOR
CONSTRUCTION

BEFORE YOU DIG, CALL
North Carolina 811
www.nc811.org

CITY OF WILMINGTON
NORTH CAROLINA
Public Services • Engineering Division
APPROVED STORMWATER MANAGEMENT PLAN
Date: 6/20/2019 Permit # 2019034
Signed: *Trent Butler* for RAC

For each open utility cut of
City streets, a \$325 permit
shall be required from the
City prior to occupancy
and/or project acceptance.

CITY OF WILMINGTON
NORTH CAROLINA
Approved Construction Plan
Name: _____ Date: _____
Planning: *Nicole Brimmon 10-20-19*
Traffic: *W. Smith 06-20-19*
Fire: *C. Webb 6/20/19*



West Elevation

B
1/4"



South Elevation

A
1/4"

MATERIAL SCHEDULE			
LABEL	MANUFACTURER	MATERIAL	COLOR
TPO ROOFING	GAF	EVERGUARD MECHANICALLY ATTACHED - 45 MIL	WHITE
ASPHALT SHINGLES	GAF	CAMELOT	ANTIQUE SLATE
STUCCO		3-COAT STUCCO FINISH OVER METAL LATH - PAINTED	
SIDING	JAMES HARDIE	SMOOTH PANEL SIDING	TBS
TRIM		PT WOOD TRIM AS INDICATED - PAINTED/ STUCCO	



**Lisle Architecture
& Design, Inc.**
614 Market Street
Wilmington, NC 28401
(910) 763.6053 (e)
(910) 763.4917 (f)

323 W. Morgan St. Suite 100
Raleigh, NC 27601
(919) 980.0283 (e)

www.LisleArchitecture.com

LANDFALL REALTY
500 ARBORETUM DR.
WILMINGTON, NC 28405

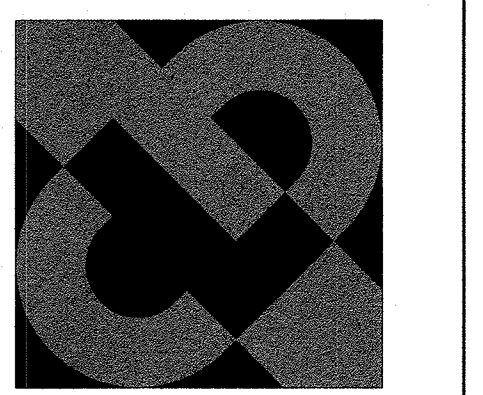
NO.	REVISION	DATE
1	OWNER REV.	01.15.17
2	LANDFALL COMMENT	04.03.17
3	CD SET	05.12.17

SHEET TITLE
Exterior
Elevations

SHEET NUMBER
A2.2

DATE: 07.05.16

PROJECT NO: 16114



Coastal Land Design, PLLC
Civil Engineering / Landscape Architecture
Land Planning / Construction Management
NCBELS Firm License P-0369
P.O. Box 1172 Phone: 910-254-9333
Wilmington, NC 28402 Fax: 910-254-0502
www.cldeng.com

Landfall Realty, LLC
500 Arboretum Drive

ARCHITECTURAL ELEVATION

REV	DATE	DESCRIPTION	INT
B	1/30/19	REVISED TRC REVIEW	NA
A	9/28/18	INITIAL TRC REVIEW	NA

DEVELOPER
LANDFALL REALTY LLC
1720 DRYSDALE DRIVE
WILMINGTON, NC 28405

APPROVED:	PROJECT: 140-08
CHECKED:	SCALE: NTS
DESIGNED: NA	RELEASE: TRC

SHEET
A-2.2

THIS DRAWING IS THE LEGAL PROPERTY OF LISLE ARCHITECTURE AND DESIGN, INC. AND IS NOT TO BE COPIED OR REPRODUCED IN WHOLE OR IN PART WITHOUT THE PERMISSION OF THE ARCHITECT. COPYRIGHT 2016